
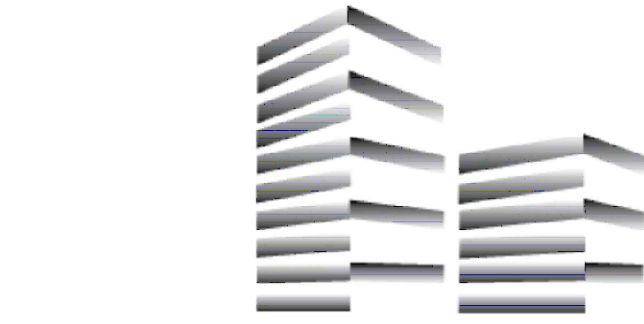
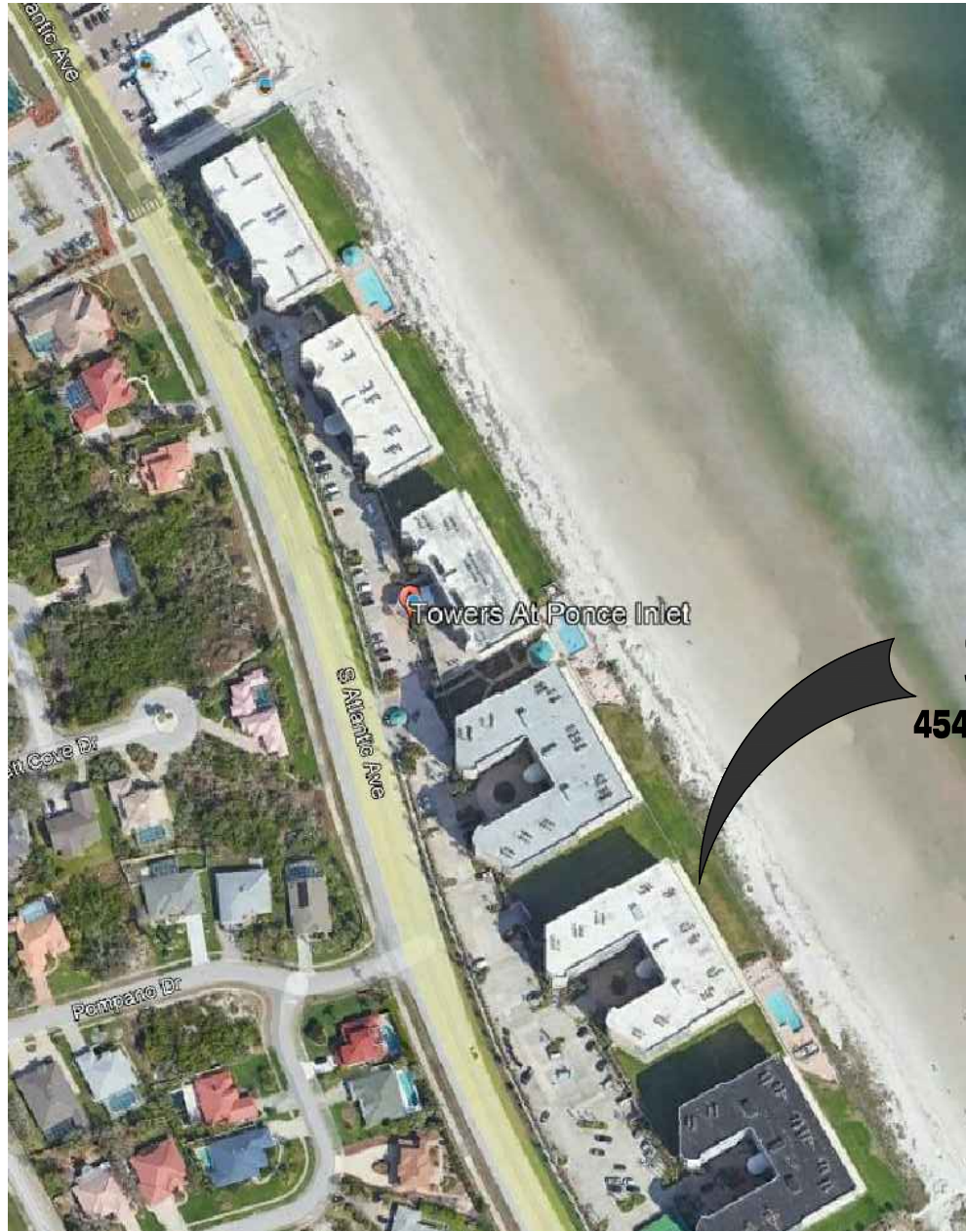
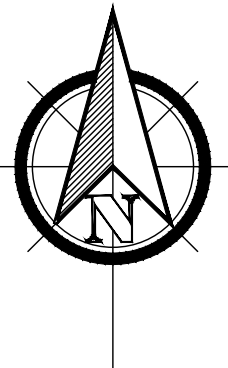



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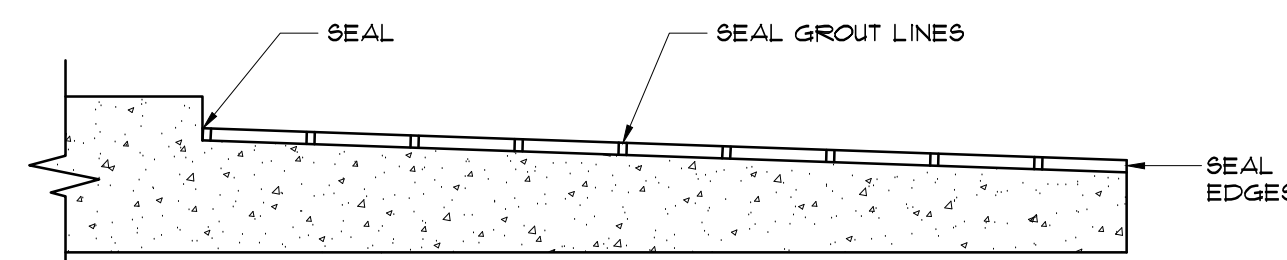
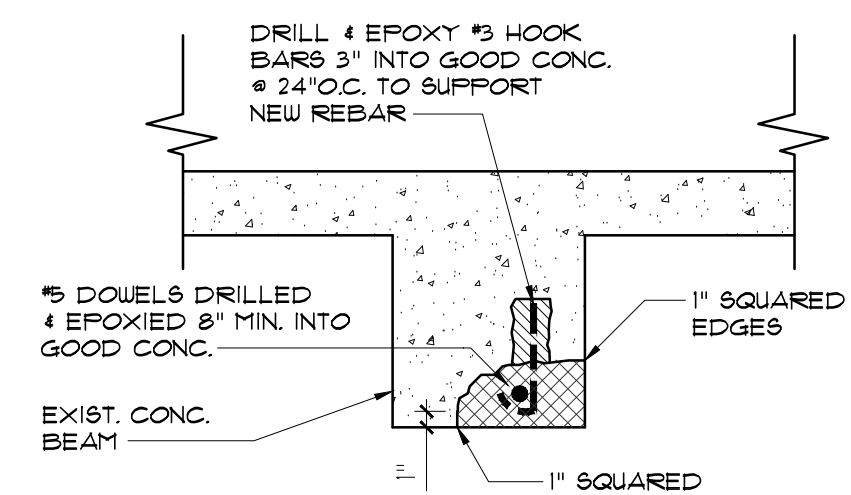
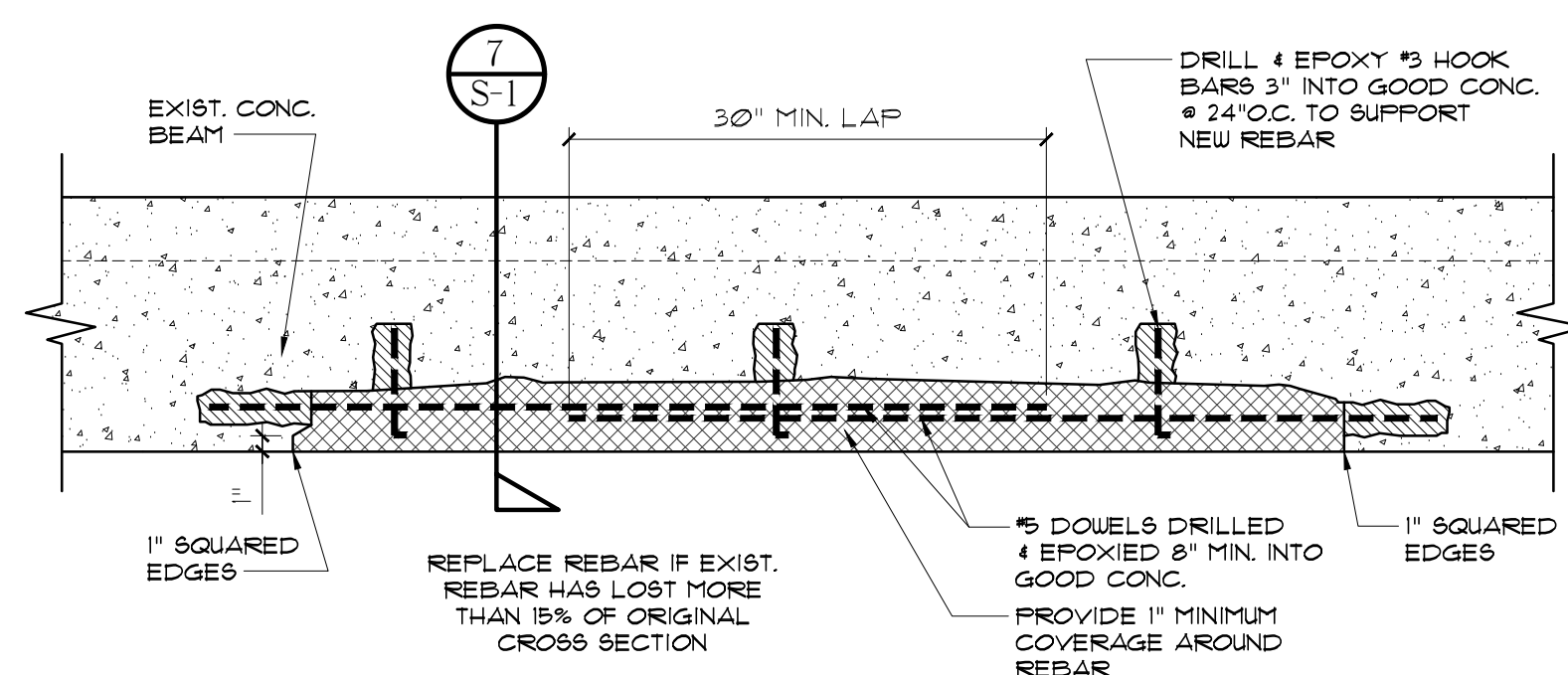
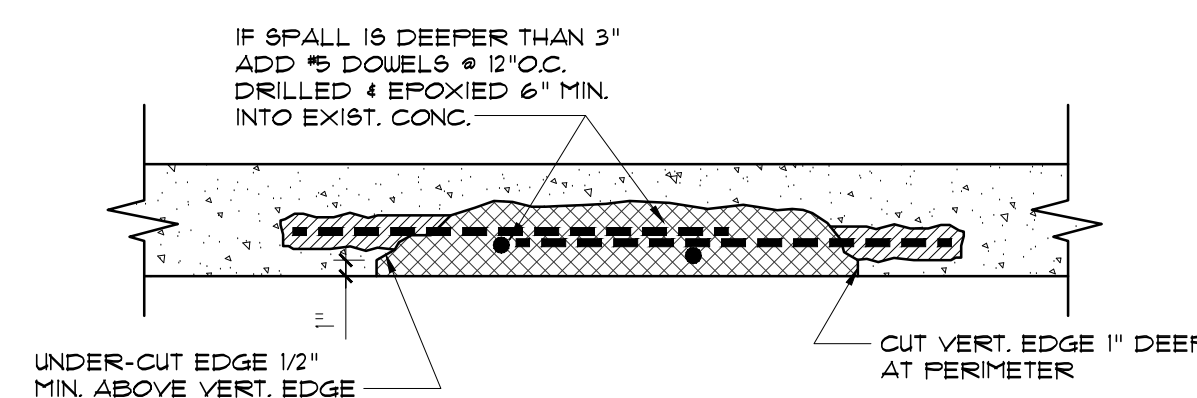
TOWERS OF PONCE INLET - BUILDING 500

4545 South Atlantic Avenue

Ponce Inlet, Florida

		<div>PROJECT DIRECTORY</div> <div>ENGINEER OF RECORD</div> <div><div>CRA Charles R. Adams &amp; Associates, Inc.</div>STRUCTURAL ENGINEERS</div> <div>414 Canal Street - New Smyrna Beach, FL 32168 - 386.426.5583</div> <div>C.R. 4180</div> <div>ARCHITECT:</div> <div>N/A</div> <div>GENERAL CONTRACTOR:</div> <div>T.B.D.</div>		<div>INDEX of DRAWINGS</div> <table><tr><td>S-0</td><td>COVER SHEET</td></tr><tr><td>S-1</td><td>CONCRETE REPAIR PROCEDURES &amp; DETAILS</td></tr><tr><td>S-2</td><td>1ST FLOOR REPAIR PLAN</td></tr><tr><td>S-3</td><td>2ND FLOOR REPAIR PLAN</td></tr><tr><td>S-4</td><td>3RD FLOOR REPAIR PLAN</td></tr><tr><td>S-5</td><td>4TH FLOOR REPAIR PLAN</td></tr><tr><td>S-6</td><td>5TH FLOOR REPAIR PLAN</td></tr><tr><td>S-7</td><td>6TH FLOOR REPAIR PLAN</td></tr><tr><td>S-8</td><td>7TH FLOOR REPAIR PLAN</td></tr><tr><td>S-9</td><td>ROOF REPAIR PLAN</td></tr></table>		S-0	COVER SHEET	S-1	CONCRETE REPAIR PROCEDURES & DETAILS	S-2	1ST FLOOR REPAIR PLAN	S-3	2ND FLOOR REPAIR PLAN	S-4	3RD FLOOR REPAIR PLAN	S-5	4TH FLOOR REPAIR PLAN	S-6	5TH FLOOR REPAIR PLAN	S-7	6TH FLOOR REPAIR PLAN	S-8	7TH FLOOR REPAIR PLAN	S-9	ROOF REPAIR PLAN																																																																																														
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NOTE:
CONTRACTOR TO INSTALL ZINC ANODES @ 36" O.C. MAX. EACH WAY - TYPICAL FOR ALL REPAIRS

1. THOROUGHLY WASH SURFACES TO BE PAINTED WITH A MIXTURE OF ONE QUART HOUSEHOLD BLEACH, ONE TABLE SPOON NON AMMONIA DETERGENT, AND THREE QUARTS OF WARM WATER OR ANY COMMERCIALLY AVAILABLE MILDEWICIDE TO REMOVE MILDEW AND/OR ALGAE AND OTHER POLLUTANTS AS NECESSARY. RINSE WITH CLEAN WATER.
2. PRESSURE CLEAN AT 3000 PSI MINIMUM ALL EXTERIOR STUCCO WALL SURFACES ROOF STRUCTURES, AND EXTERIOR CEILINGS.
3. ALL LOCATIONS WHERE PEELING OF EXISTING COATING OCCURS MUST BE CLEANED AND DAMAGED COATING REMOVED DOWN TO A WELL ADHERED BONDABLE SURFACE.
4. APPLY PRIMER AND PAINT IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY SHERWIN WILLIAMS.

1. REPAIR OR RESET ALL LOOSE TILES.
2. SEAL ALL EXPOSED EDGES OF BALCONIES AND WALKWAYS.
3. SEAL GROUT LINES.

1. ALL CRACKS LESS THAN 1/16" ARE TO BE DETAILED WITH ELASTOMERIC PATCHING COMPOUND. CRACKS SHALL BE BRIDGED APPROXIMATELY 2 INCHES ON EACH SIDE AND CROWNED IN CENTER DIRECTLY OVER CRACK, APPROXIMATELY 1/16" TO ALLOW FOR DYNAMIC MOVEMENT.
2. ALL CRACKS GREATER THAN 1/16" AND LESS THAN 3/8" ARE TO BE ROUTED OPEN TO FORM A "U" OR "V" SHAPE, DUSTED CLEAN AND PACKED WITH A ONE PART URETHANE SEALANT WHICH SHALL BE FORCED INTO THE CRACK TO INSURE ADHESION TO THE INNER SURFACES.
3. ANY CRACK LARGER THAN 3/8" SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTABLE STRUCTURAL REPAIR TECHNIQUES SUCH AS RECOMMENDED BY ICRI.

1. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN IN DETAILS.
2. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
3. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
4. COAT ALL REBAR USING A SLURRY MIX OF THE REPAIR MORTAR. LET DRY BEFORE POURING.
5. PATCH WITH BASF's MasterEmaco S440, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

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1. REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.
2. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
3. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
4. COAT ALL REBAR USING A SLURRY MIX OF THE REPAIR MORTAR. LET DRY BEFORE POURING. PATCH WITH BASF'S MasterEmaco 5425 (OR EQUAL), IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.
6. PATCH WITH BASF'S MasterEmaco 5425, (OR EQUAL), IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

1. REMOVE ALL LOOSE CONCRETE UNTIL UN-CORRODED REBAR IS REACHED. PROVIDE 3/4" MINIMUM CLEARANCE AROUND EXPOSED BARS.
2. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTEC RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
3. COAT ALL REBAR USING A SLURRY MIX OF THE REPAIR MORTAR. LET DRY BEFORE POURING CONCRETE. REBAR'S MINIMUMS ARE EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
4. APPLY URETHANE WATERPROOFING.
5. REPLACE STUCCO AND PAINT TO MATCH EXISTING.

1. REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.
2. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.
3. REMOVE HEAVY CORROSION FROM REBAR, WIRE BRUSH OR APPLY CROTECH RUST ARRESTOR (OR EQUAL) IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
4. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS.
5. COAT ALL REBAR USING A SLURRY MIX OF THE REPAIR MORTAR, LET DRY BEFORE POURING. PATCH WITH BASF's MasterEmaco S425, (OR EQUAL), IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
6. APPLY URETHANE WATERPROOFING.
7. REPLACE STUCCO AND PAINT TO MATCH EXISTING.

**CONCRETE REPAIRS**

1. INSURE THAT ALL LOOSE CONCRETE HAS BEEN REMOVED.
2. INSPECT EXISTING REINFORCING STEEL TO INSURE THAT CORROSION HAS BEEN REMOVED AND TREATED PER PLANS.
3. INSPECT QUANTITY AND INSTALLATION OF SUPPLEMENTAL REINFORCING STEEL CONFORMS TO THE PERMIT PLANS.
4. VERIFY APPLICATION OF CHEMICAL TREATMENTS PER PLANS.
5. CONFIRM CONCRETE PATCHING MATERIALS ARE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE PERMIT PLANS.



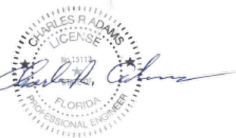




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repairs to the  
**TOWERS OF PONCE INLET - BUILDING 500**  
4545 SOUTH ATLANTIC AVE., PONCE INLET, FLORIDA

SEAL

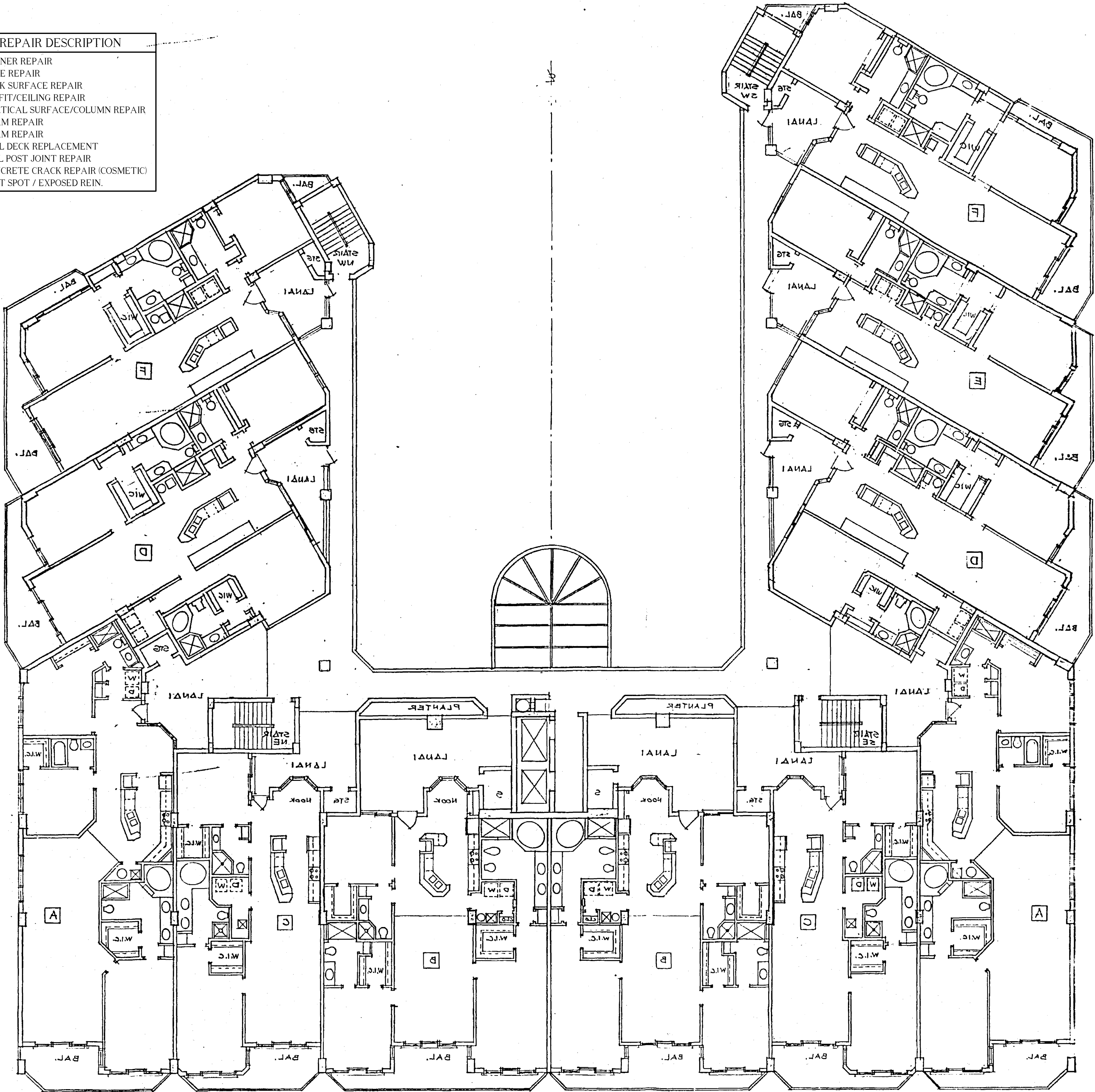


DRAWN BY: B.J.M.  
CHECKED BY: C.R.A.  
SCALE: AS NOTED  
DATE: 01-12-2022

S-3

SHEET 4  
OF 10

REPAIR DESCRIPTION	
1.	CORNER REPAIR
2.	EDGE REPAIR
3.	DECK SURFACE REPAIR
4.	SOFFIT/CEILING REPAIR
5.	VERTICAL SURFACE/COLUMN REPAIR
6.	BEAM REPAIR
7.	BEAM REPAIR
8.	FULL DECK REPLACEMENT
9.	RAIL POST JOINT REPAIR
10.	CONCRETE CRACK REPAIR (COSMETIC)
11.	RUST SPOT / EXPOSED REIN.



NO STRUCTURAL ISSUES DISCOVERED

2nd Floor Repair Plan

Scale: 3/32" = 1'-0"





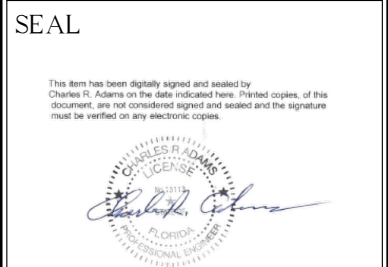






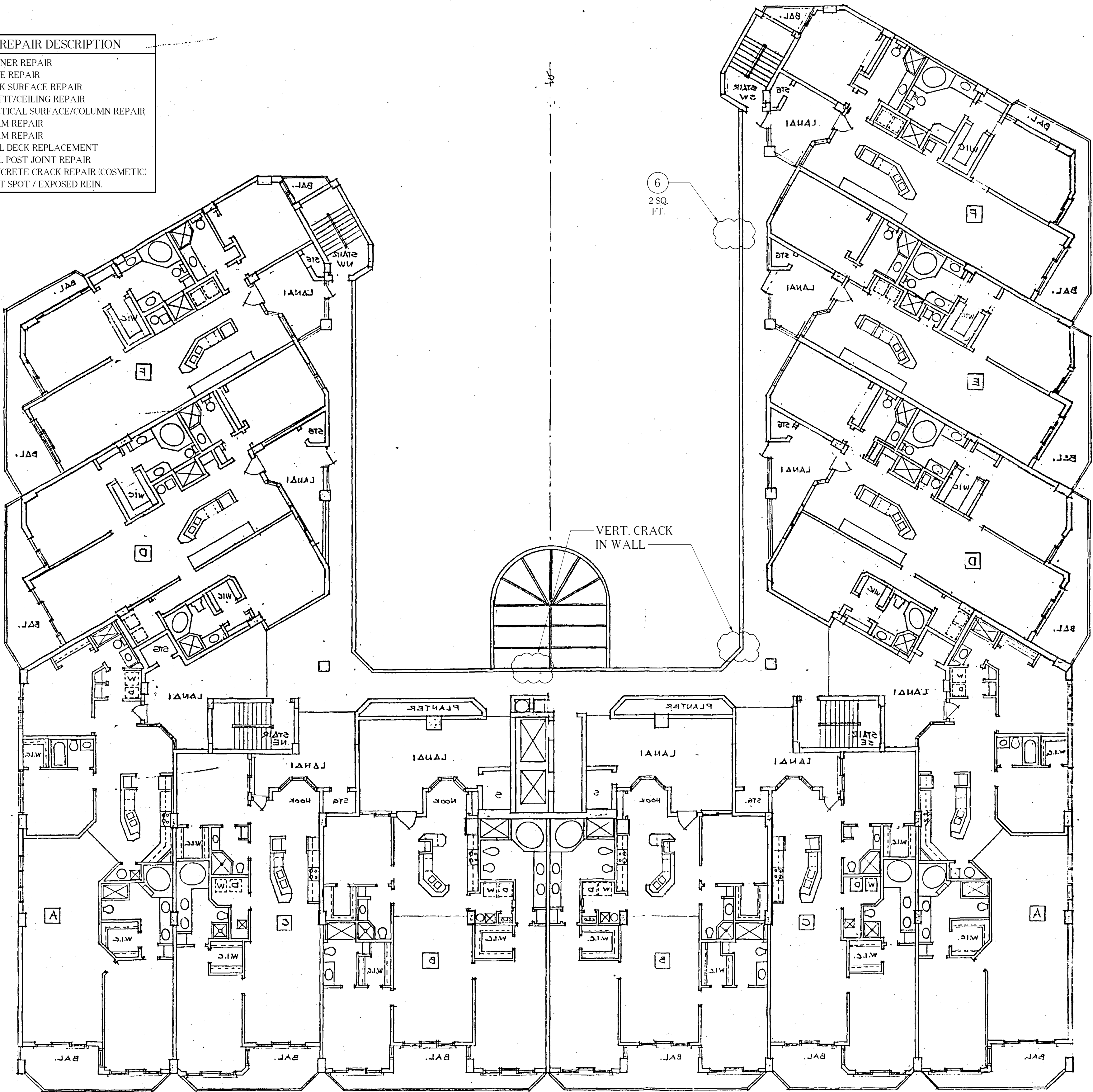
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repairs to the  
**TOWERS OF PONCE INLET - BUILDING 500**  
4545 SOUTH ATLANTIC AVE., PONCE INLET, FLORIDA



DRAWN BY: B.J.M.	S-6
CHECKED BY: C.R.A.	
SCALE: AS NOTED	
DATE: 01-12-2022	SHEET 7 OF 10

REPAIR DESCRIPTION
1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)
11. RUST SPOT / EXPOSED REIN.



NO STRUCTURAL ISSUES DISCOVERED

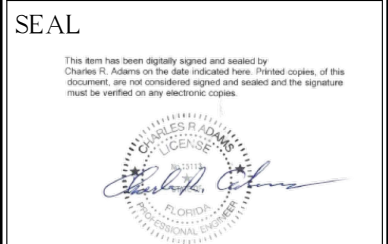
5th Floor Repair Plan

Scale: 3/32" = 1'-0"



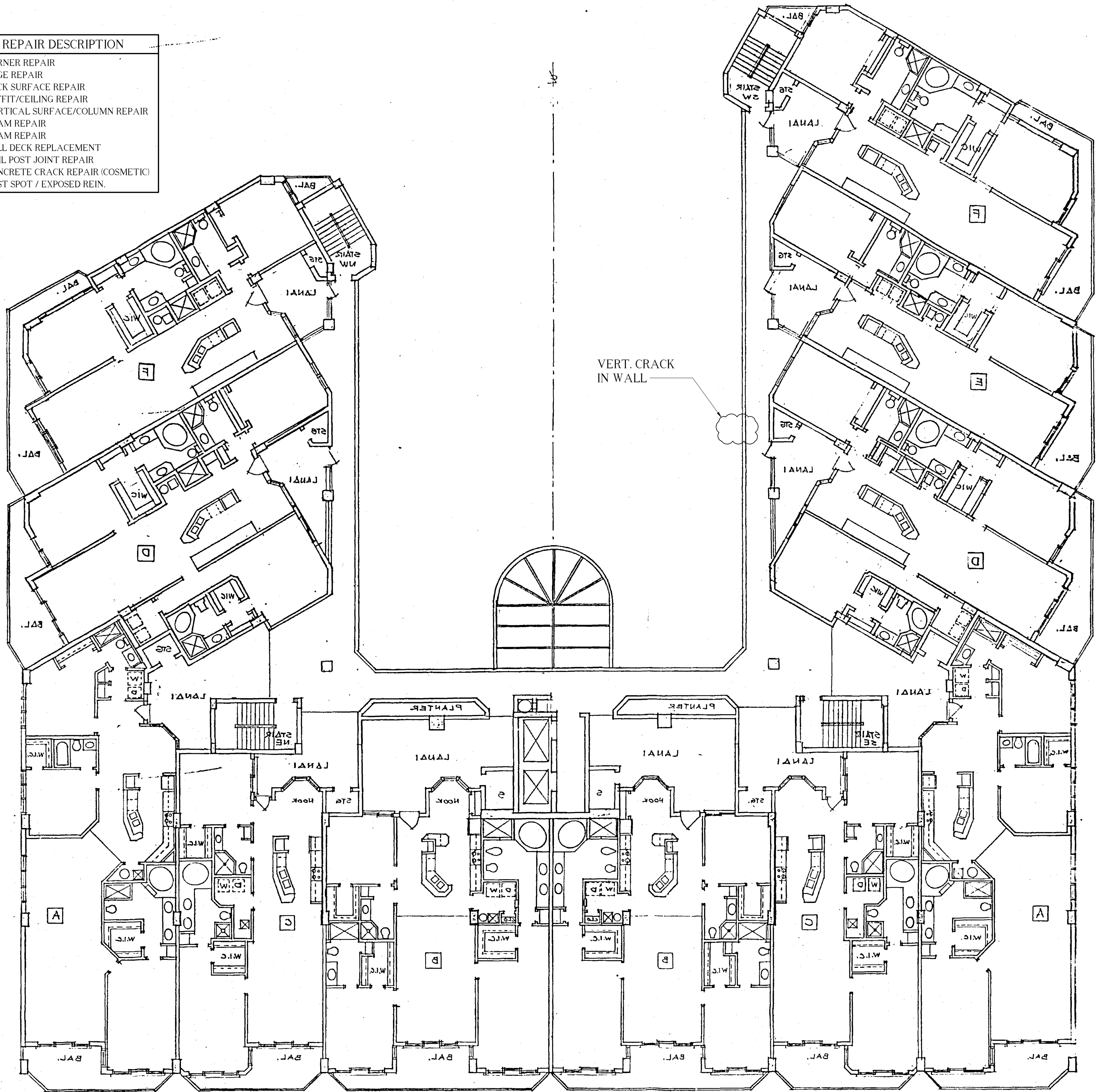
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repairs to the  
**TOWERS OF PONCE INLET - BUILDING 500**  
4545 SOUTH ATLANTIC AVE., PONCE INLET, FLORIDA



DRAWN BY: B.J.M.	S-7
CHECKED BY: C.R.A.	
SCALE: AS NOTED	
DATE: 01-12-2022	SHEET 8 OF 10

REPAIR DESCRIPTION
1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)
11. RUST SPOT / EXPOSED REIN.

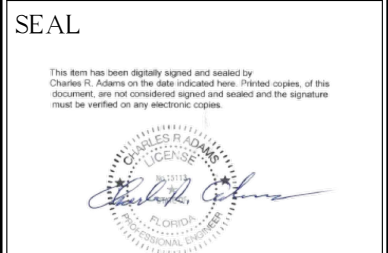


6th Floor Repair Plan  
Scale: 3/32" = 1'-0"

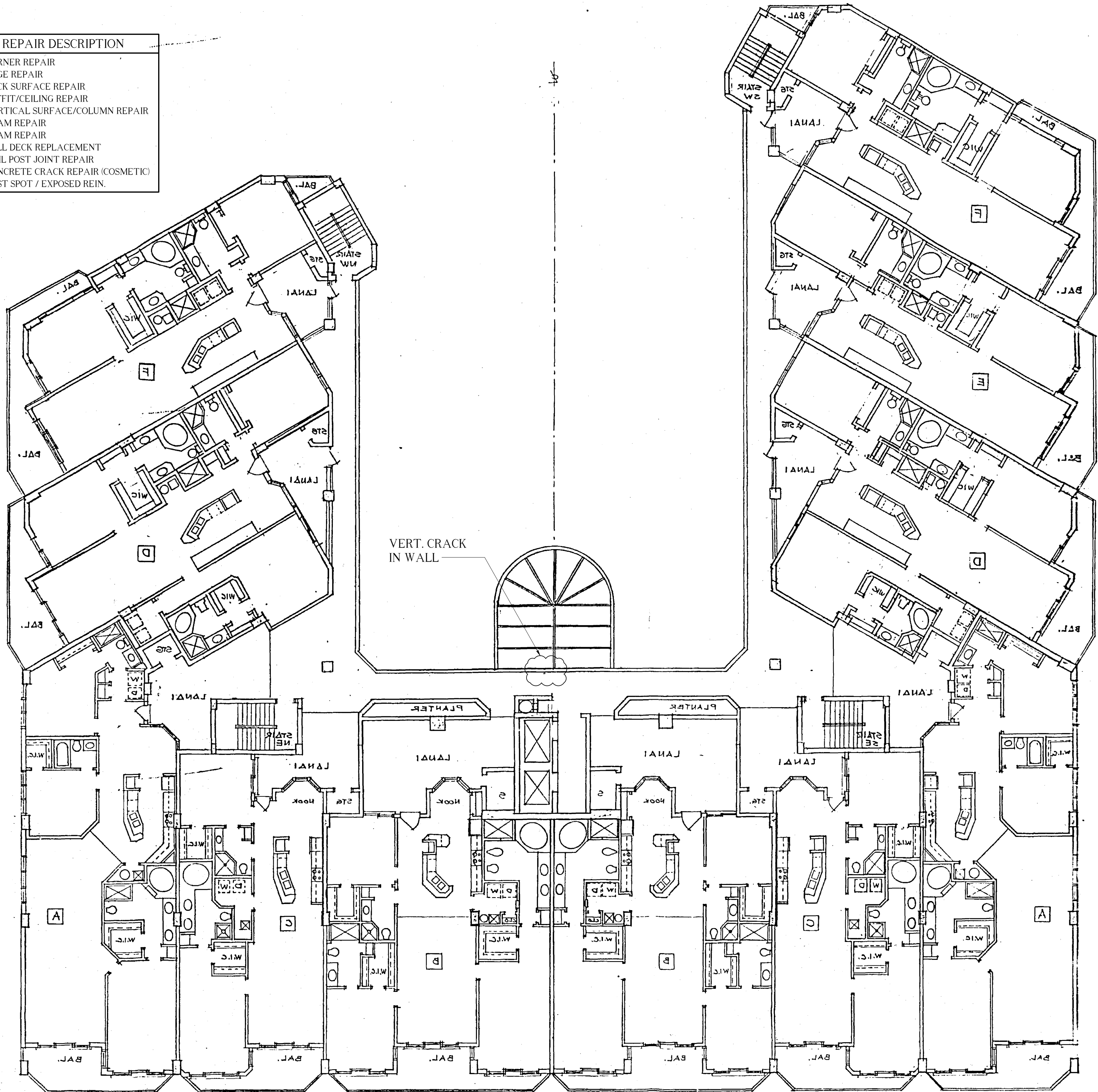


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repairs to the  
**TOWERS OF PONCE INLET - BUILDING 500**  
4545 SOUTH ATLANTIC AVE., PONCE INLET, FLORIDA



REPAIR DESCRIPTION
1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)
11. RUST SPOT / EXPOSED REIN.



7th Floor Repair Plan



CRA

Charles E. Adams  
& Associates, Inc.

STRUCTURAL ENGINEERS

161 East Street - New Smyrna Beach, FL 32168 - 386.426.3338

C.A. #4180

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repairs to the

TOWERS OF PONCE INLET - BUILDING 500

4545 SOUTH ATLANTIC AVE., PONCE INLET, FLORIDA

SEAL

DRAWN BY: B.J.M.

CHECKED BY: C.R.A.

SCALE: AS NOTED

DATE: 01-12-2022

S-9

SHEET: 10

OF: 10

REPAIR DESCRIPTION

1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE/COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)
11. RUST SPOT / EXPOSED REIN.

VERT. CRACK IN WALL

VERT. CRACK IN WALL

Roof Repair Plan

Scale: 3/32" = 1'-0"