

REPAIR PROCEDURES

A. GENERAL REQUIREMENTS FOR ALL WALKWAYS TO BE REPAIRED

1. PRIOR TO COMMENCEMENT OF REPAIRS, WATERBLAST OR MECHANICALLY SCARIFY SURFACE OF BALCONY OR WALKWAY AREATO BE REPAIRED, AS REQUIRED, TO REMOVE EXISTING SURFACE TREATMENT AND CONCRETE SURFACE TO ATTAIN A SANDPAPER LIKE SURFACE ON CLEAN CONCRETE. BALCONY RAILS MAY REMAIN IN PLACE UNLESS REMOVAL IS REQUIRED FOR CONCRETE REPAIR WORK.

2. PERFORM THE CONCRETE REPAIRS IN ACCORDANCE WITH THE DETAILS AND PROCEDURES SHOWN ON THESE PLANS.

3. WATERPROOF SURFACE WITH AN ENGINEER APPROVED PRODUCT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

4. REPLACE STUCCO AND PAINT TO MATCH EXISTING

B. CRACK REPAIR

1. ALL CRACKS LESS THAN 1/16" ARE TO BE DETAILED WITH ELASTOMERIC PATCHING COMPOUND. CRACKS SHALL BE BRIDGED APPROXIMATELY 2 INCHES ON EACH SIDE AND CROWNED IN CENTER DIRECTLY OVER CRACK, APPROXIMATELY 1/16" TO ALLOW FOR DYNAMIC MOVEMENT.

2. ALL CRACKS GREATER THAN 1/16" AND LESS THAN 3/8" ARE TO BE ROUTED OPEN TO FORM A "U" OR "V" SHAPE, DUSTED CLEAN AND PACKED WITH A ONE PART URETHANE SEALANT WHICH SHALL BE FORCED INTO THE CRACK TO INSURE ADHESION TO THE INNER SURFACES.

3. ANY CRACK LARGER THAN 3/8" SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTABLE STRUCTURAL REPAIR TECHNIQUES SUCH AS RECOMMENDED BY ICRI.

C. CORNERS AND EDGES OF CONCRETE SLABS (SEE DETAILS 1 & 2)

1. CAREFULLY CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN IN DETAILS.

2. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

3. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.

4. APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

5. PATCH WITH BASF'S LA40, OR EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

D. SPALLS AT TOP OF CONCRETE SLABS (SEE DETAIL 3)

1. CAREFULL CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.

2. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

3. APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

4. PATCH WITH BASF'S LA40, OR EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

E. SPALLS AT SLAB SOFFITS (SEE DETAIL 4)

1. REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.

2. CAREFULL CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.

3. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

4. APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

5. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS PROVIDED.

6. PATCH WITH BASF'S GEL PATCH, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

F. SPALLS IN VERTICAL SURFACES AND COLUMNS (SEE DETAILS 5 AND 8)

1. REMOVE ALL LOOSE CONCRETE UNTIL UN-CORRODED REBAR IS REACHED. PROVIDE 3/4" MINIMUM CLEARANCE AROUND EXPOSED BARS.

2. REMOVE HEAVY CORROSION FROM REBAR. APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

3. APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

4. PATCH WITH BASF'S GEL PATCH, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

5. APPLY URETHANE WATERPROOFING.

6. REPLACE STUCCO AND PAINT TO MATCH EXISTING.

G. SPALLS IN BEAMS (SEE DETAILS 6 AND 7)

1. REMOVE STUCCO AS REQUIRED TO EXPOSE SPALLED CONCRETE OR EXPOSED REBAR.

2. CAREFULLS CHIP OUT ALL CRACKED AND LOOSE CONCRETE AS SHOWN.

3. REMOVE HEAVY CORROSION FROM REBAR. WIRE BRUSH OR APPLY COROTECH RUST ARRESTOR IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

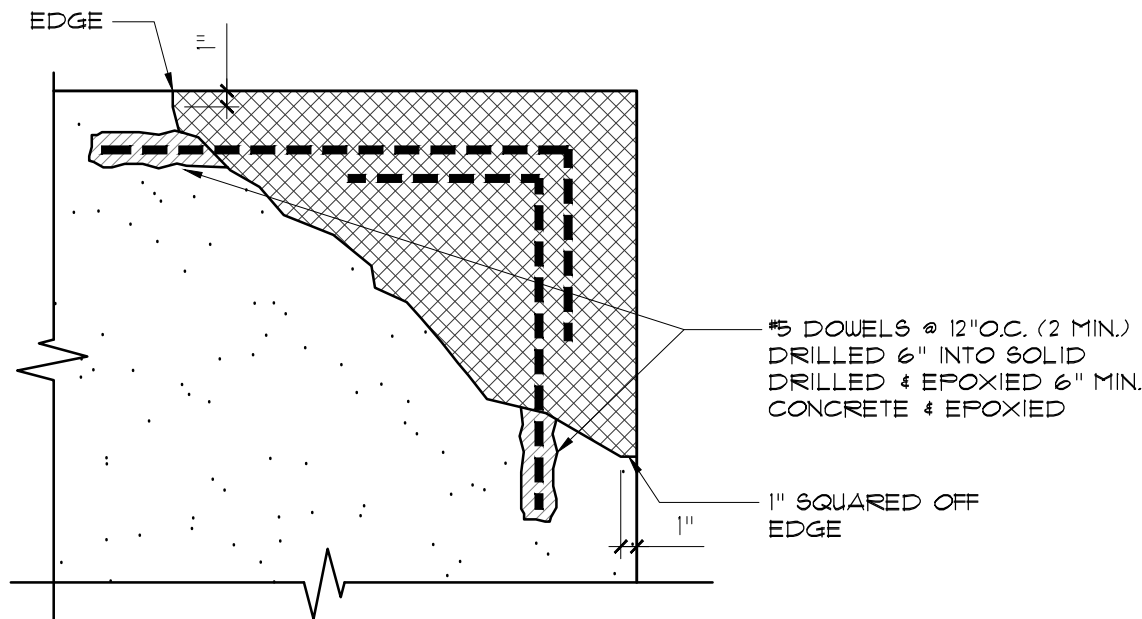
4. DRILL AND EPOXY DOWELS INTO EXISTING CONCRETE PER DETAILS.

5. APPLY SIKA ARMATEC TO ALL REBAR IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

6. PATCH WITH BASF'S GEL PATCH, OR EQUAL, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

7. APPLY URETHANE WATERPROOFING.

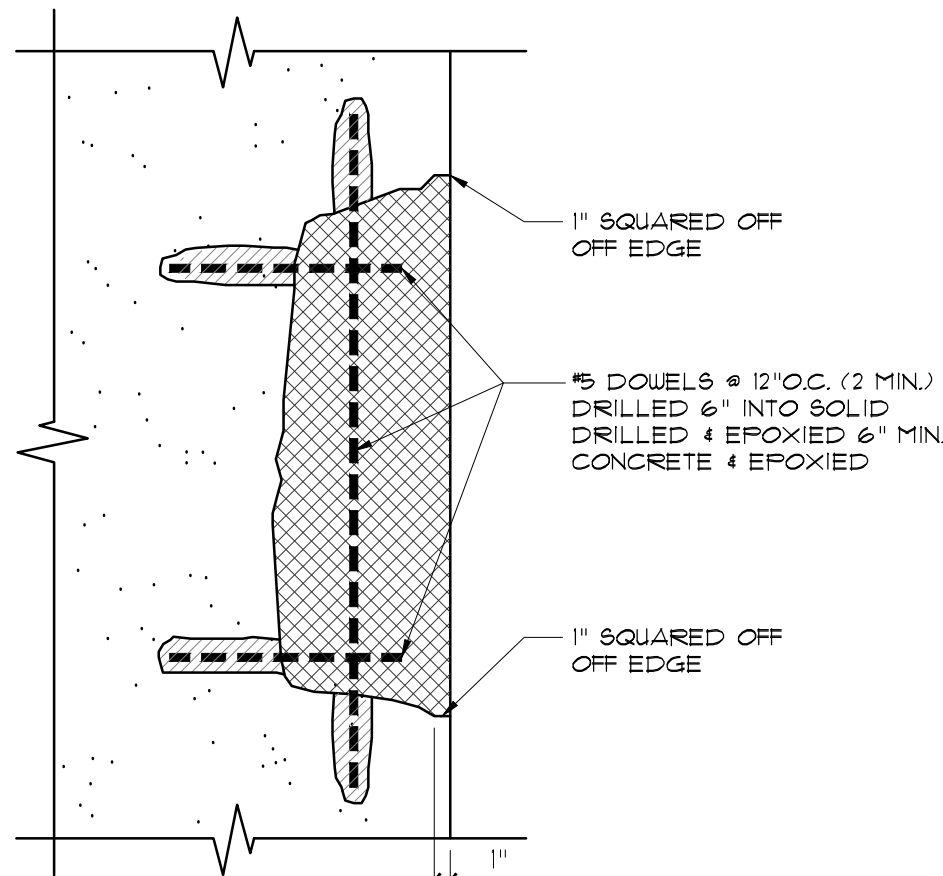
8. REPLACE STUCCO AND PAINT TO MATCH EXISTING.



Corner Repair Detail

Scale: 1" = 1'-0"

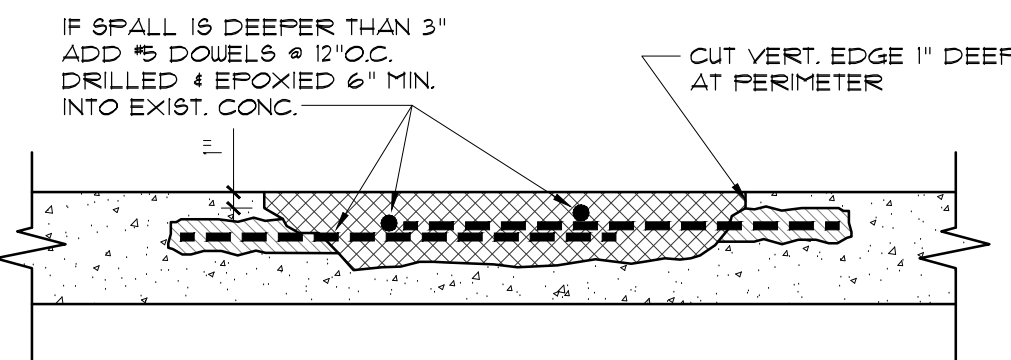
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S-1



Edge Repair Detail

Scale: 1" = 1'-0"

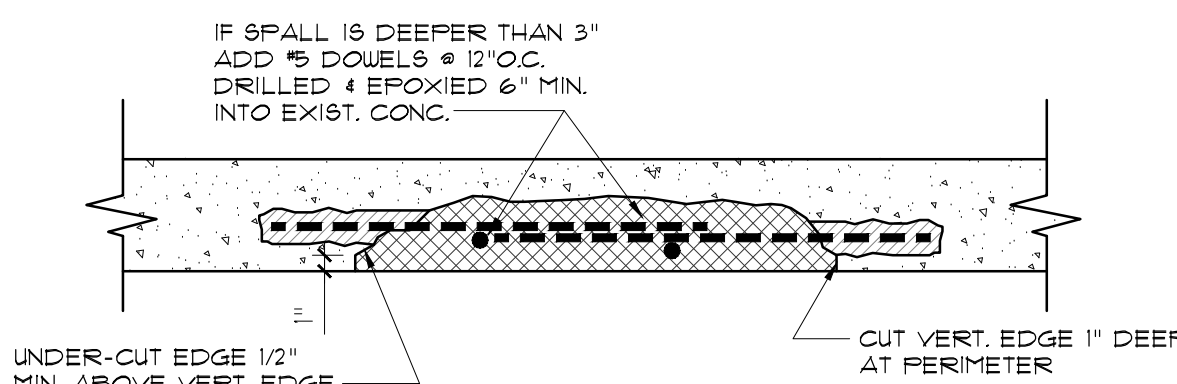
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Detail @ Spalled Concrete

Scale: 1" = 1'-0"

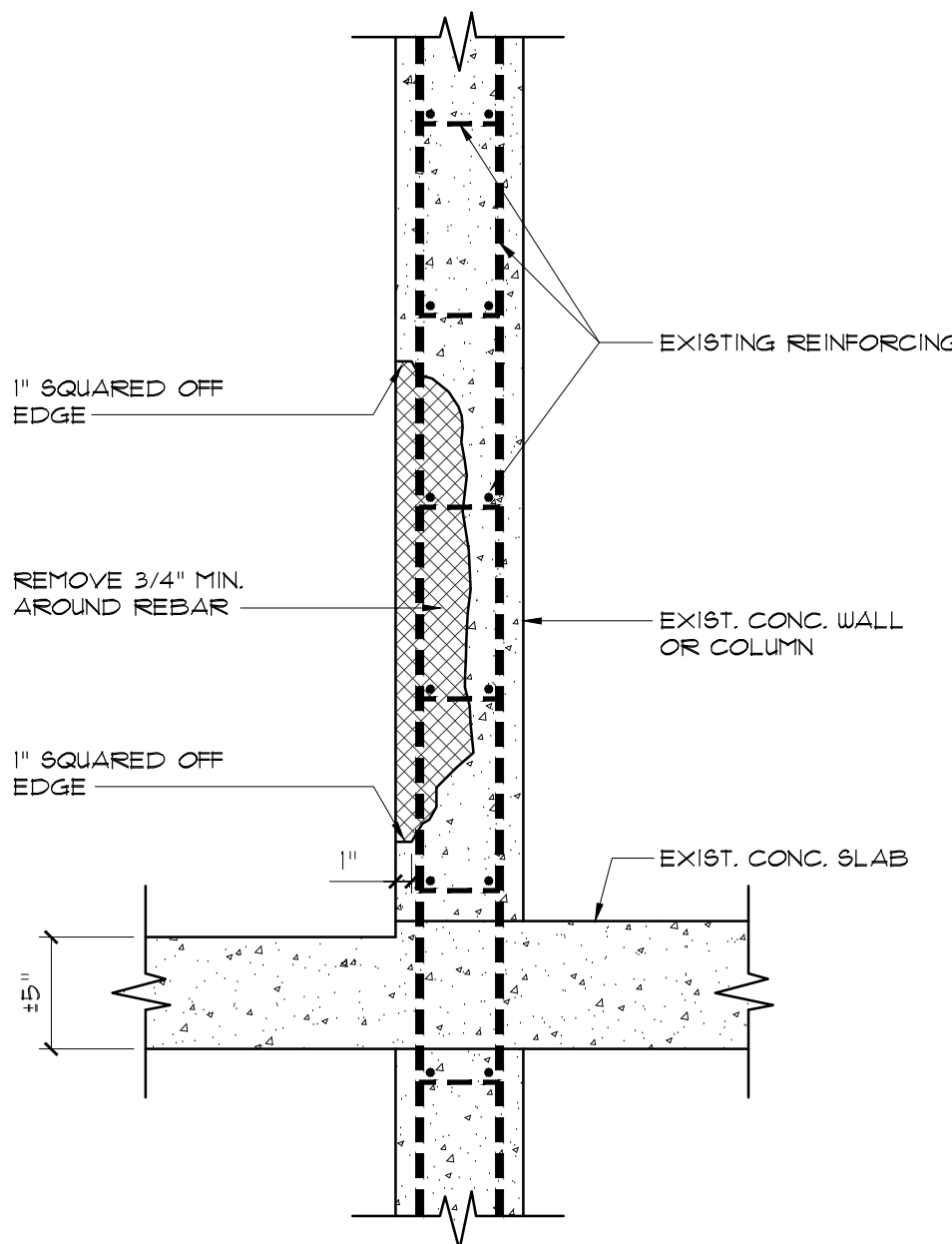
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S-1



Detail @ Spalled Soffit

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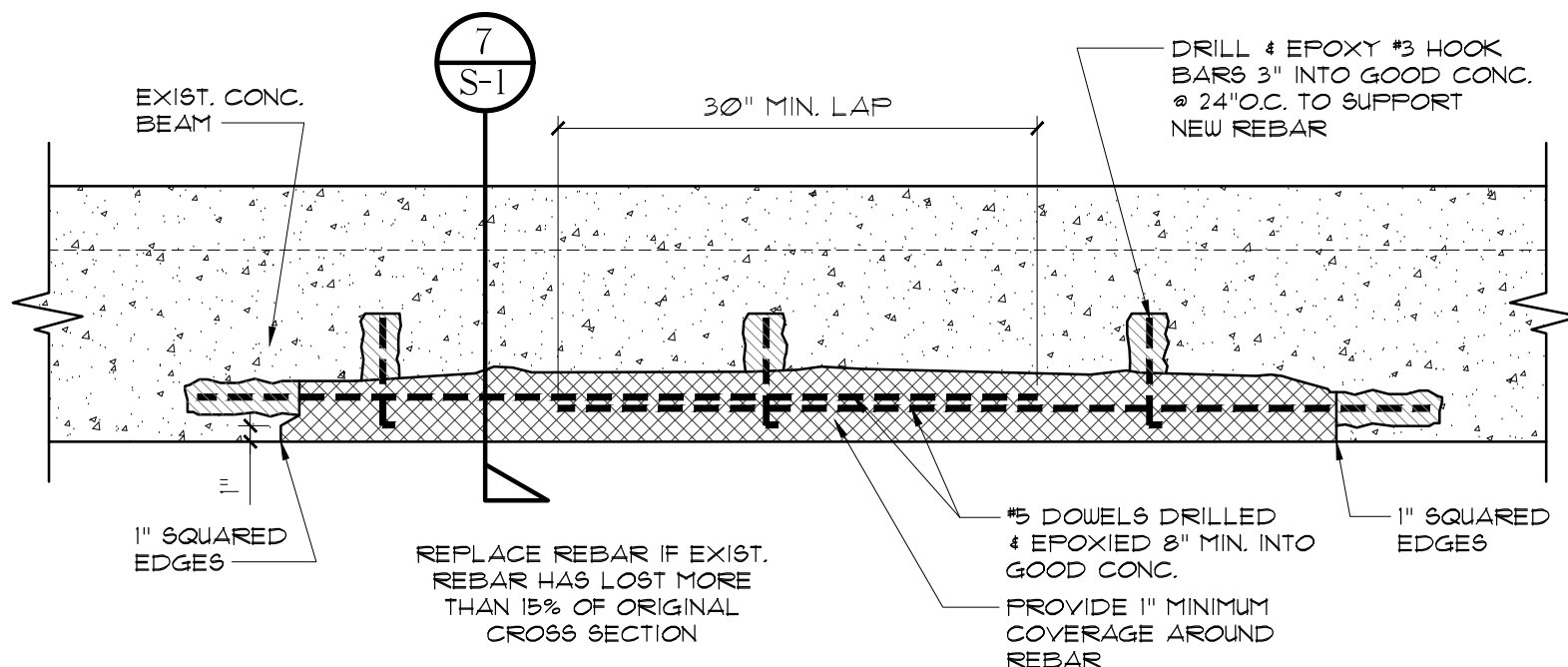
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Spall in Vertical Concrete Detail

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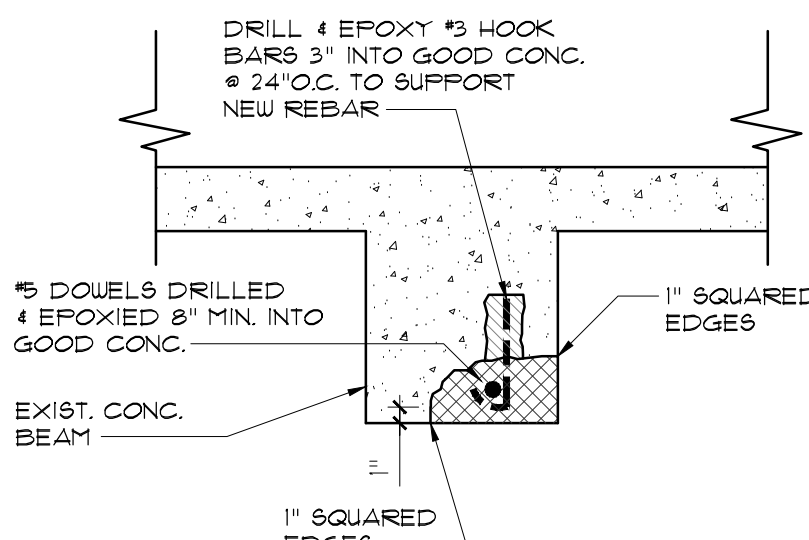
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S-1



Beam Repair Detail

Scale: 1" = 1'-0"

6
S-1



Beam Repair Detail

Scale: 1" = 1'-0"

7
S-1

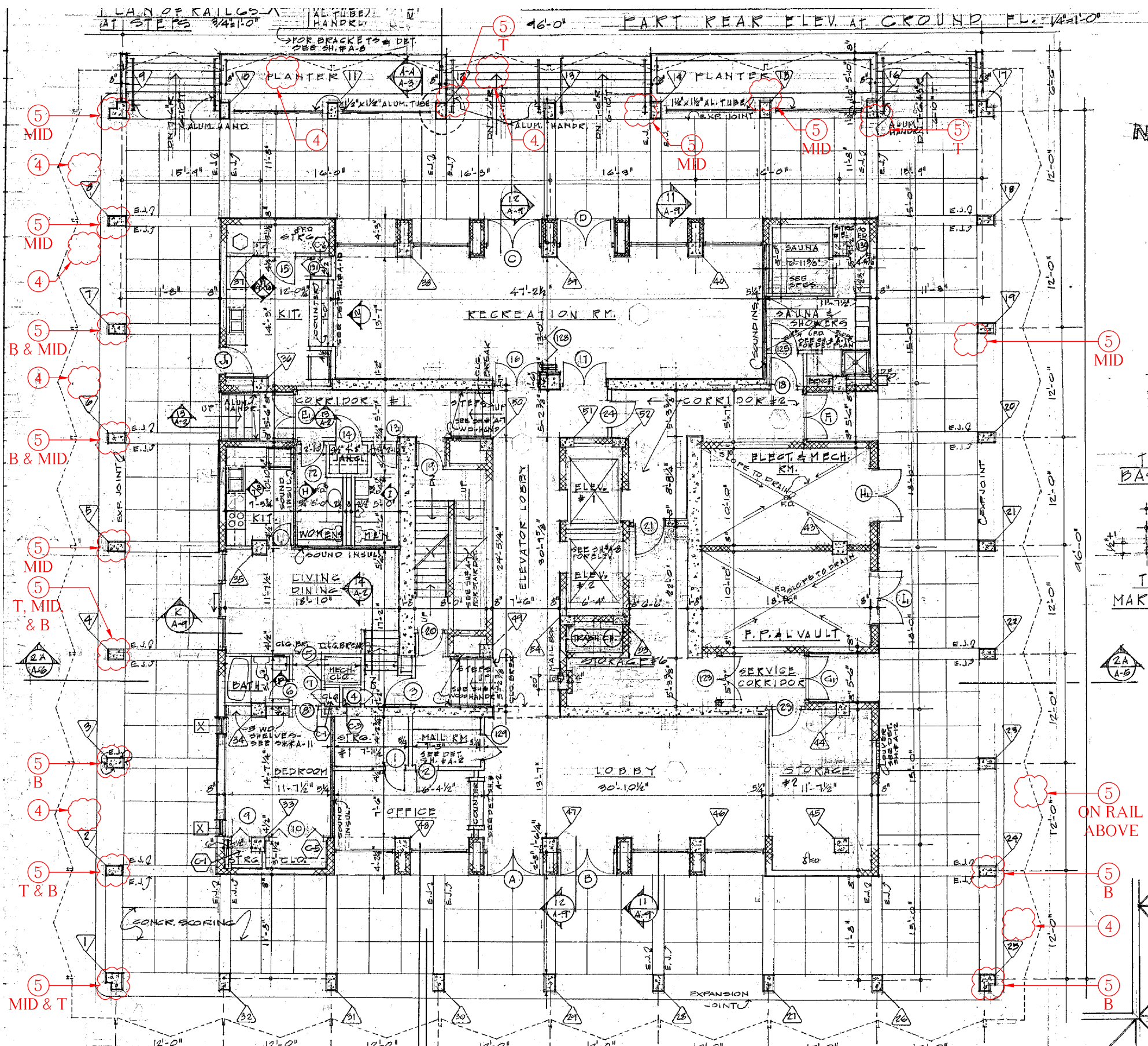
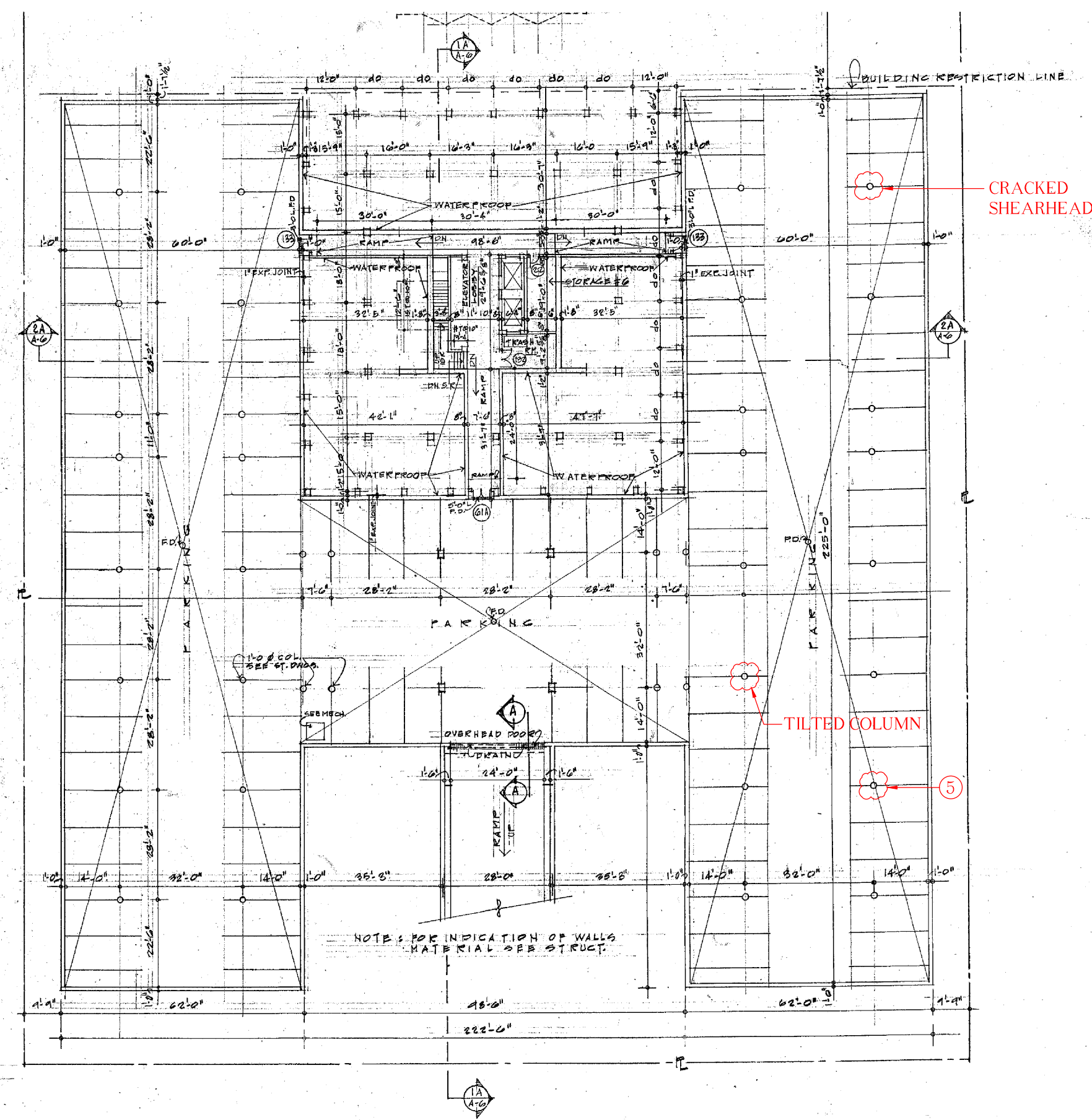
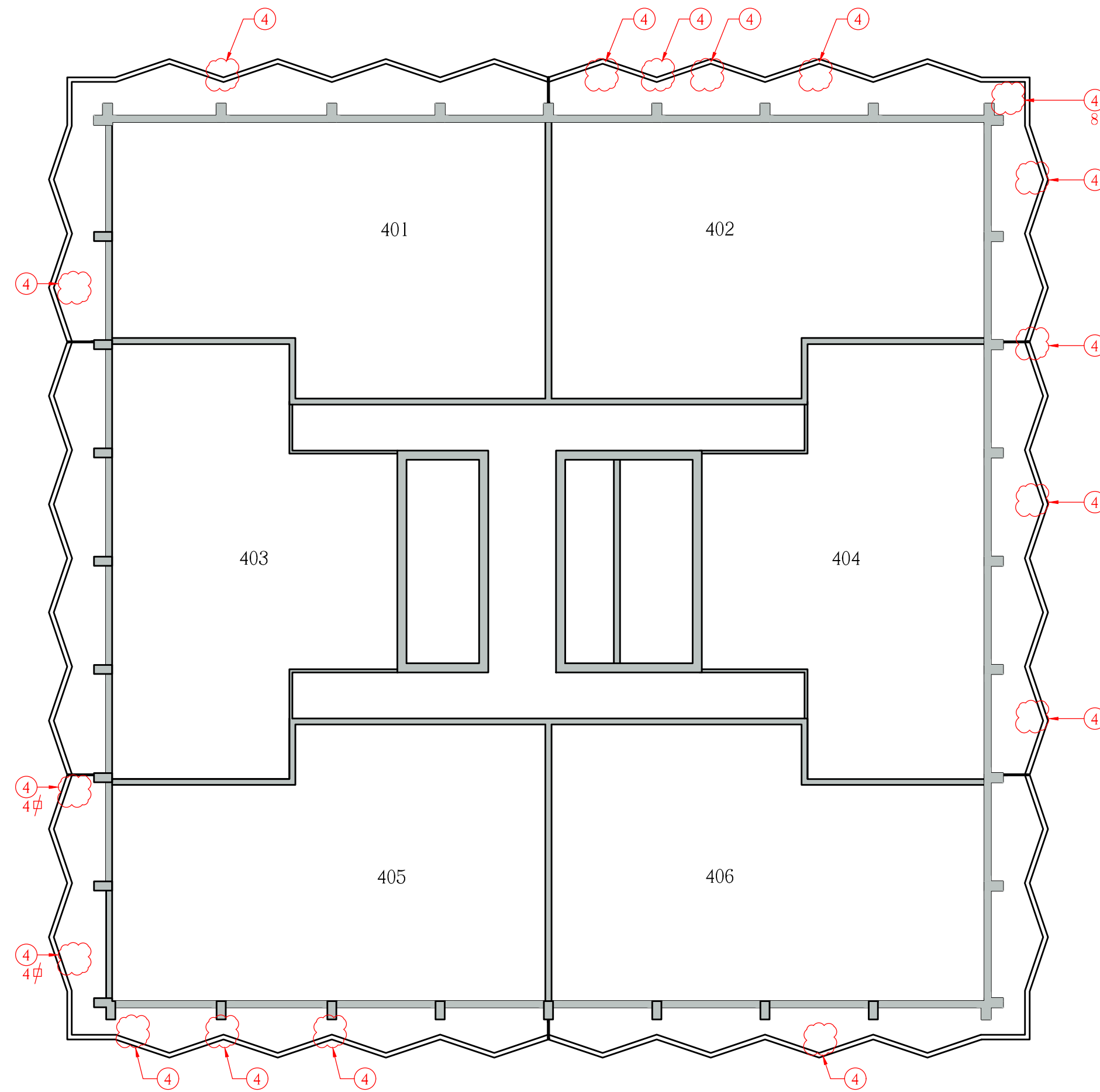
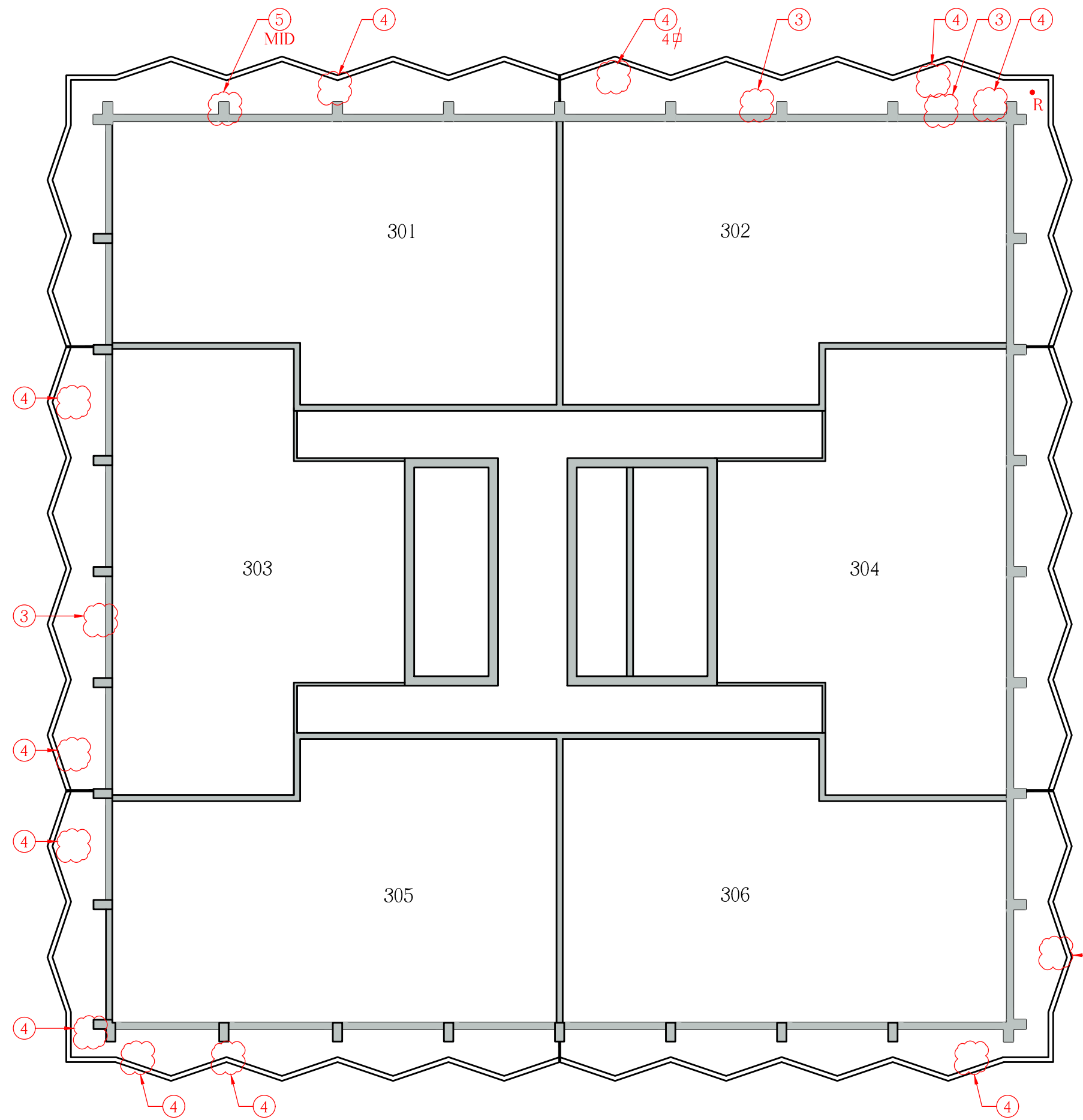
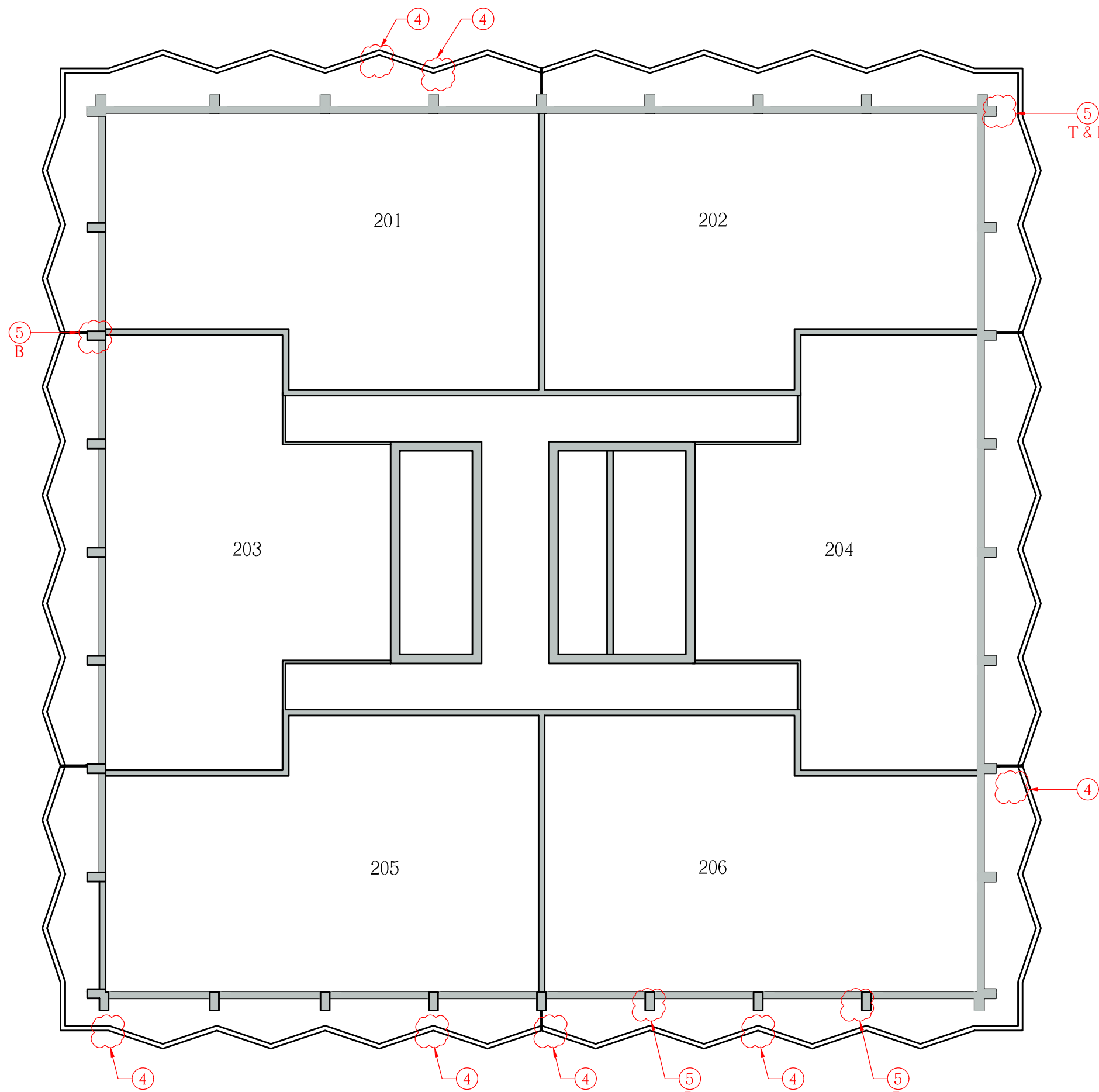
REPAIR DESCRIPTION TABLE

1. CORNER REPAIR
2. EDGE REPAIR
3. DECK SURFACE REPAIR
4. SOFFIT/CEILING REPAIR
5. VERTICAL SURFACE / COLUMN REPAIR
6. BEAM REPAIR
7. BEAM REPAIR
8. FULL DECK REPLACEMENT
9. RAIL POST JOINT REPAIR
10. CONCRETE CRACK REPAIR (COSMETIC)
- R RUST SPOT / EXPOSED REIN.

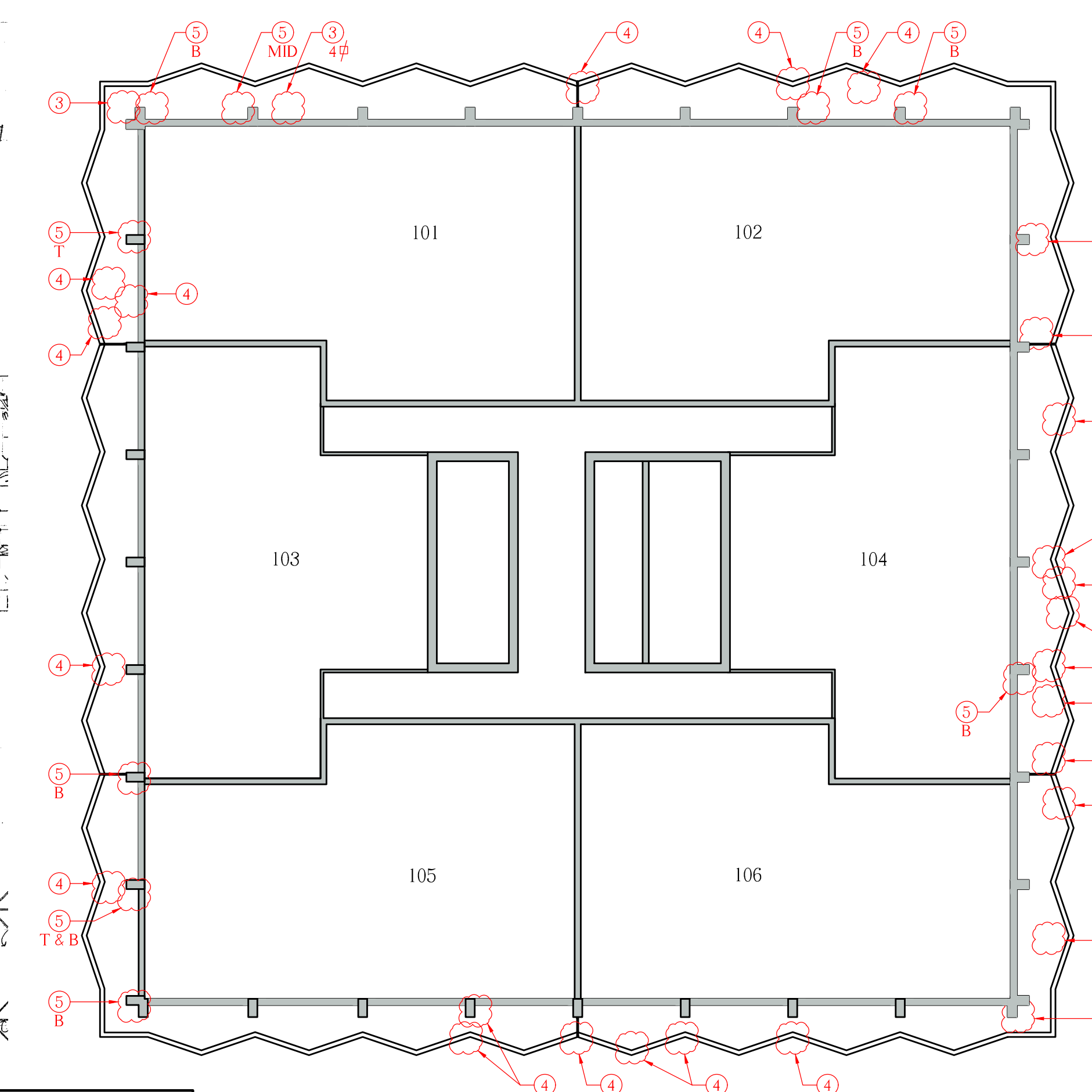
THRESH HOLD INSPECTION PLAN

CONCRETE REPAIRS

1. INSURE THAT ALL LOOSE CONCRETE HAS BEEN REMOVED.
2. INSPECT EXISTING REINFORCING STEEL TO INSURE THAT CORROSION HAS BEEN REMOVED AND TREATED PER PLANS.
3. INSPECT QUANTITY AND INSTALLATION OF SUPPLEMENTAL REINFORCING STEEL CONFORMS TO THE PERMIT PLANS.
4. VERIFY APPLICATION OF CHEMICAL TREATMENTS PER PLANS.
5. CONFIRM CONCRETE PATCHING MATERIALS ARE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE PERMIT PLANS.



NOTE: ALL SURFACE
SPALLS ARE SMALL
SPALLS U.N.O.

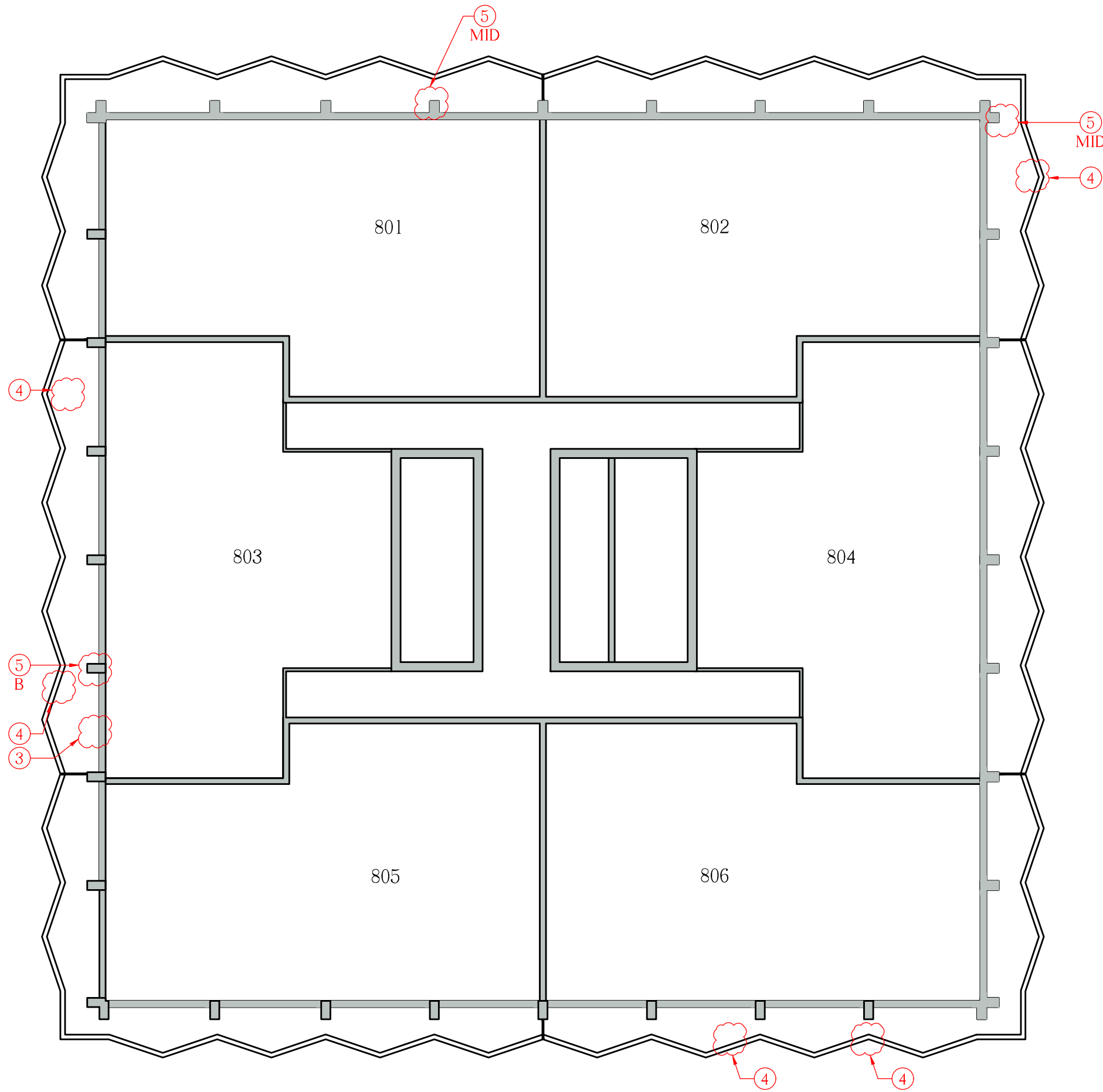


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concrete repairs to the
ALIKI CONDOMINIUM
2828 NORTH ATLANTIC AVE.
DAYTONA BEACH, FLORIDA

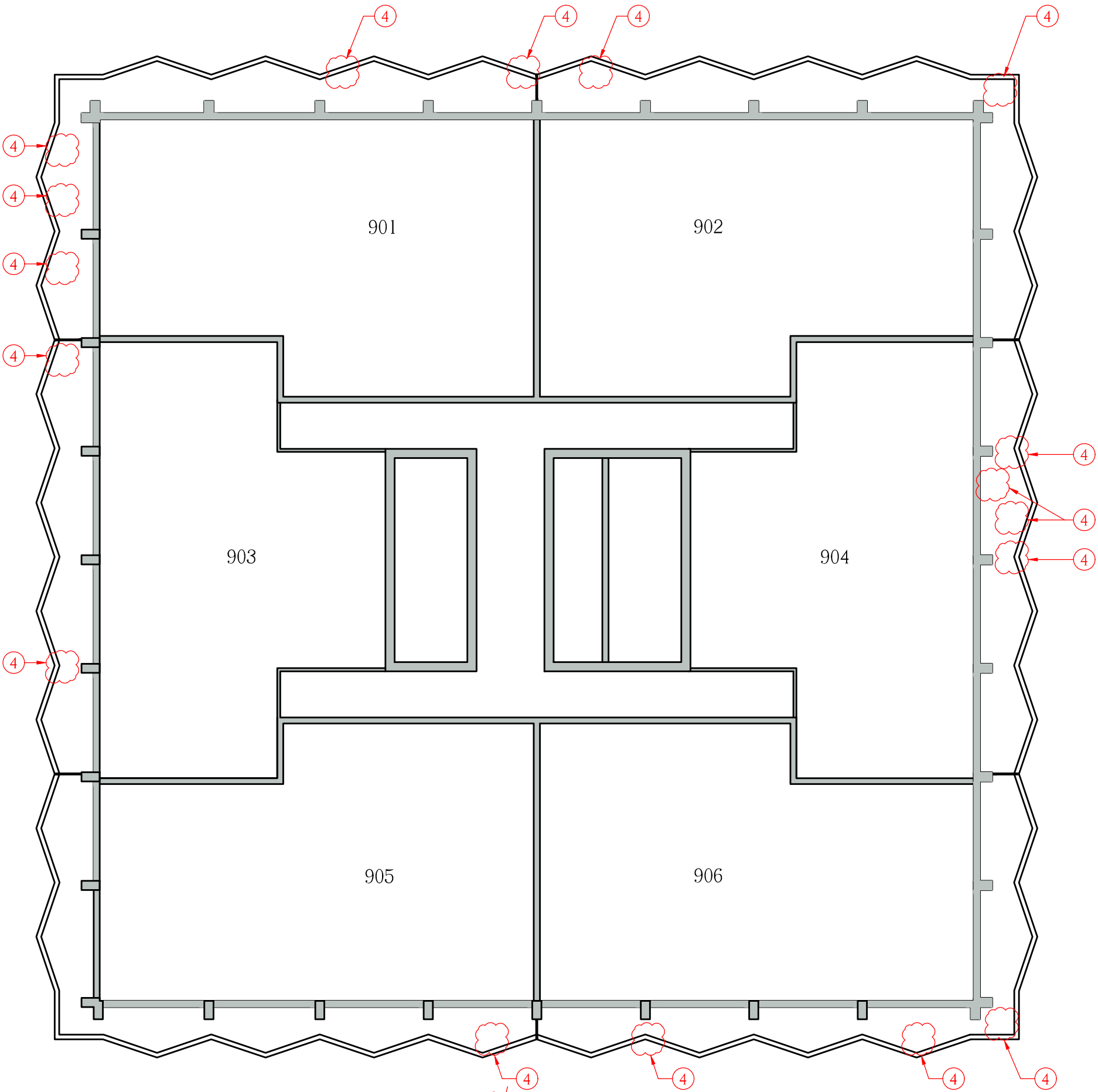
SEAL

DRAWN BY: B.J.M.	S-3
CHECKED BY: C.R.A.	
SCALE: AS NOTED	SHEET 4
DATE: 03-20-2022	OF: 6



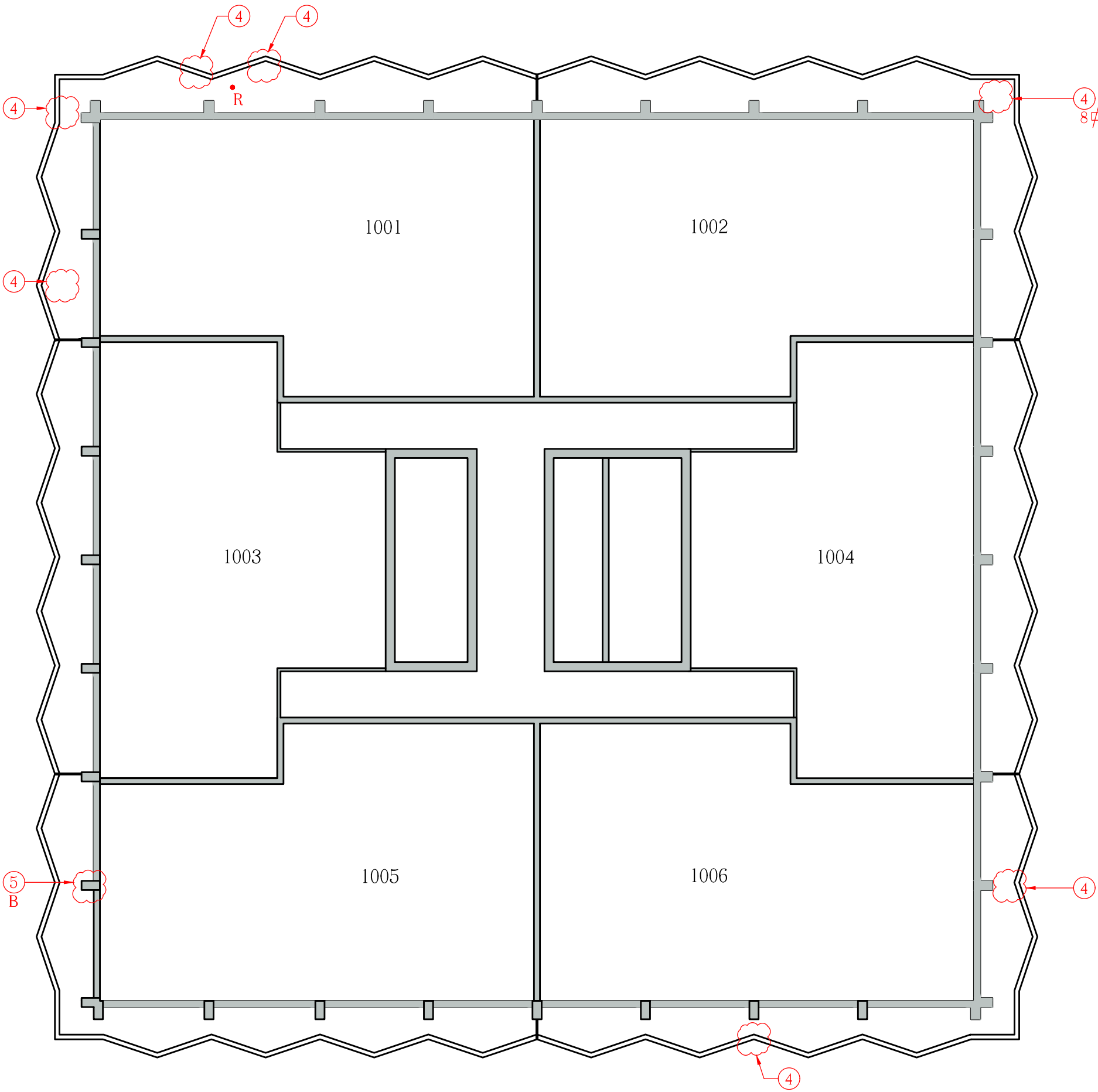
8th Floor Repair Plan

Scale: 1/8" = 1'-0"



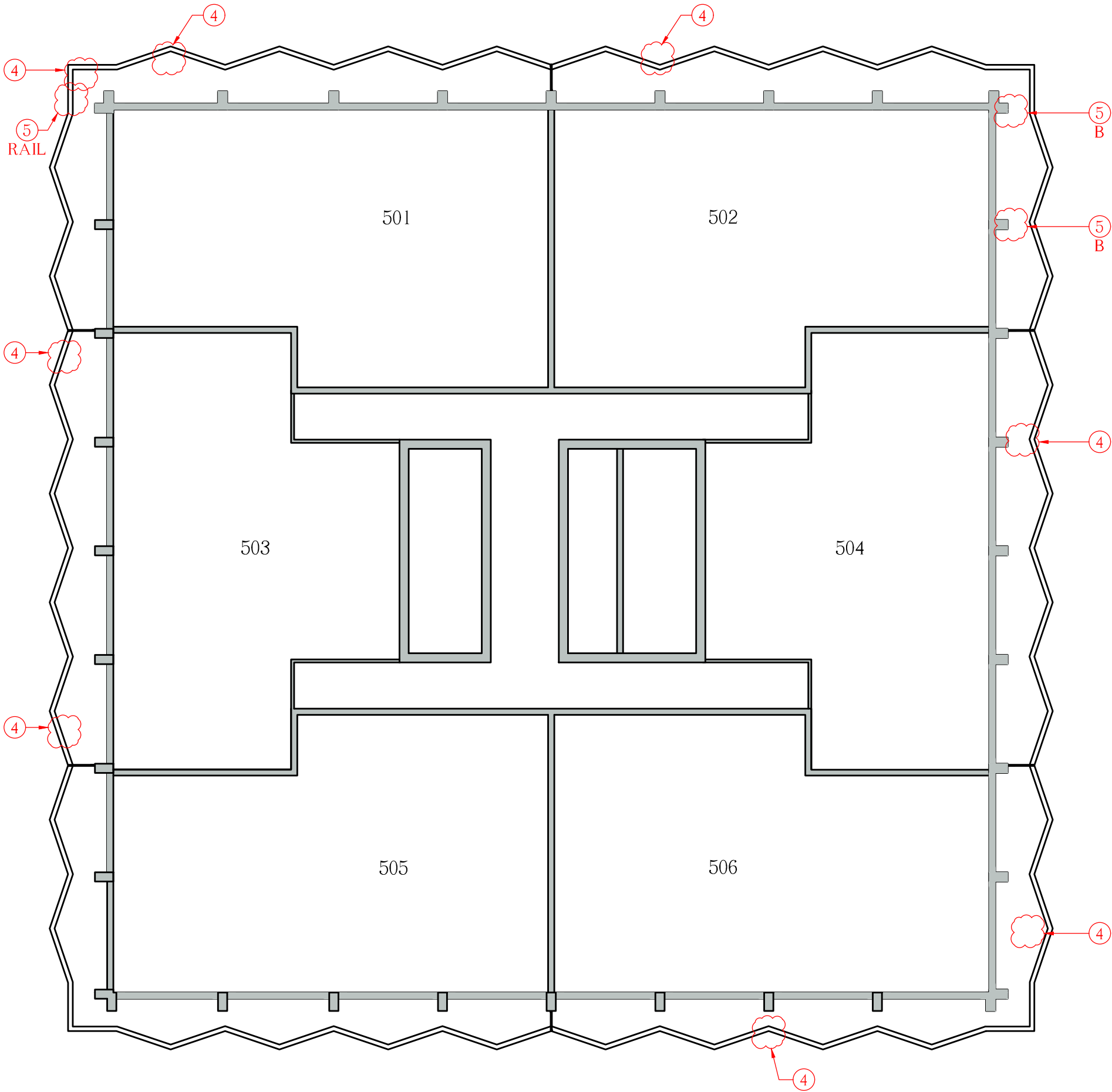
9th Floor Repair Plan

Scale: 1/8" = 1'-0"



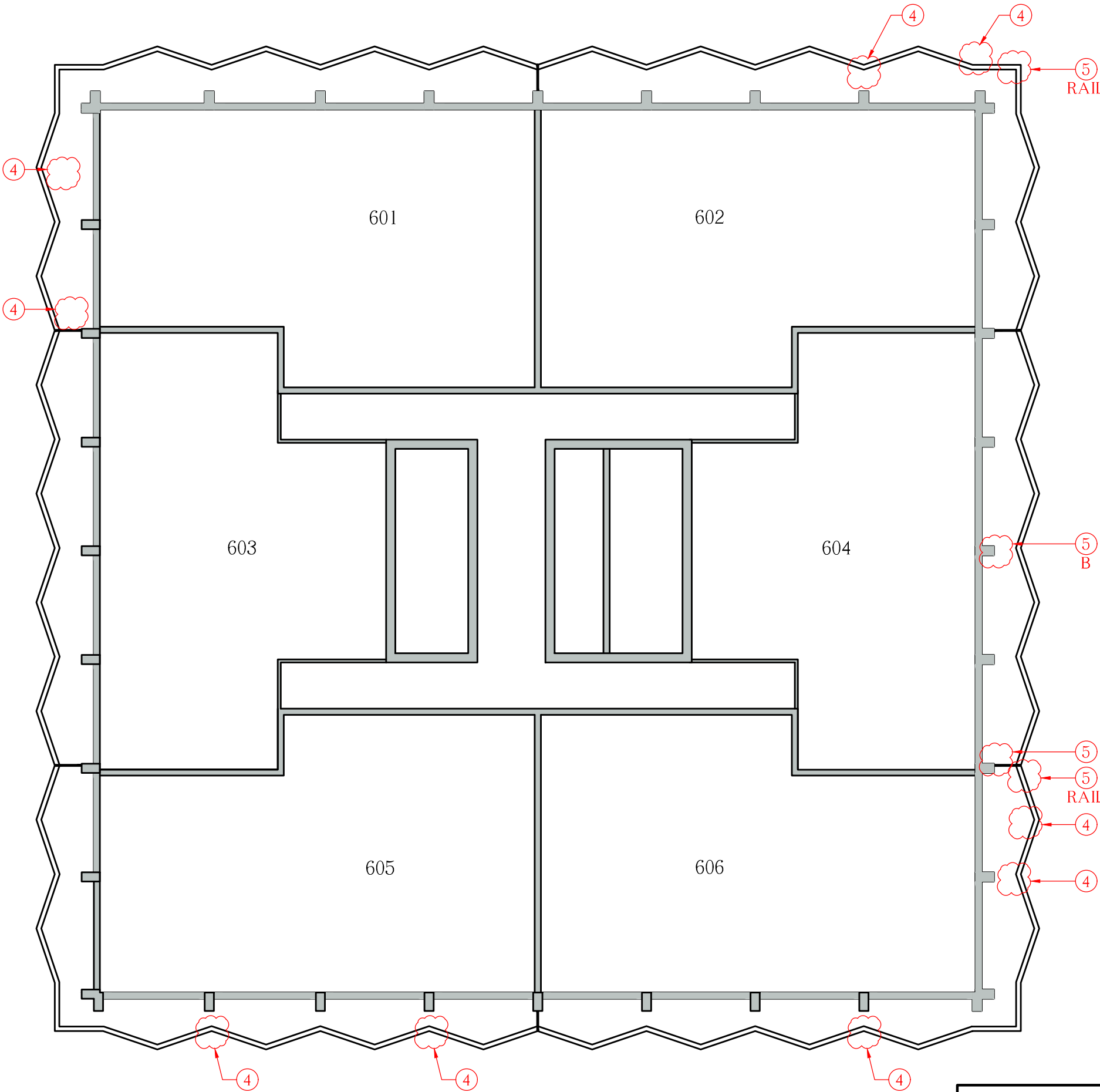
10th Floor Repair Plan

Scale: 1/8" = 1'-0"



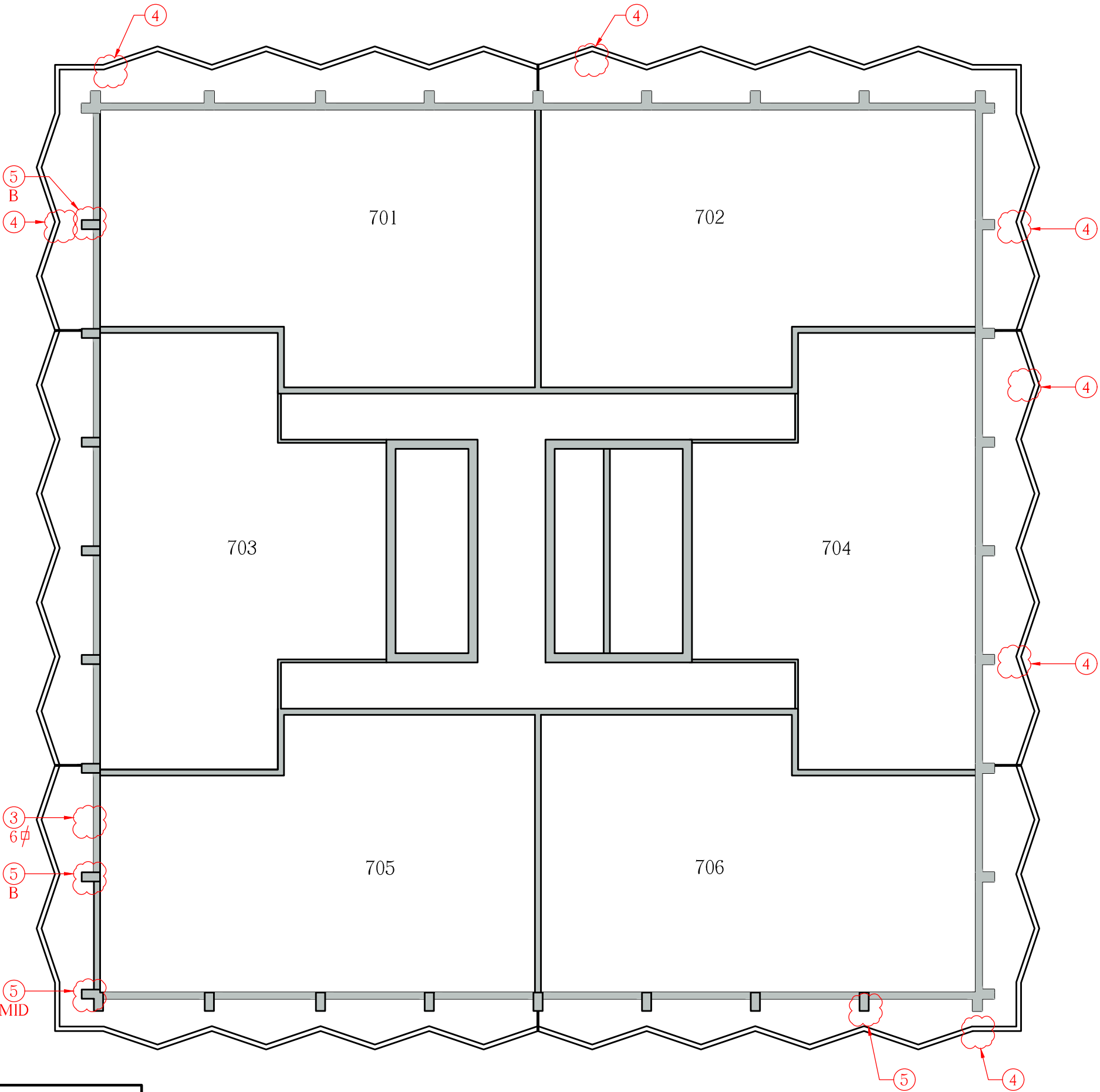
5th Floor Repair Plan

Scale: 1/8" = 1'-0"



6th Floor Repair Plan

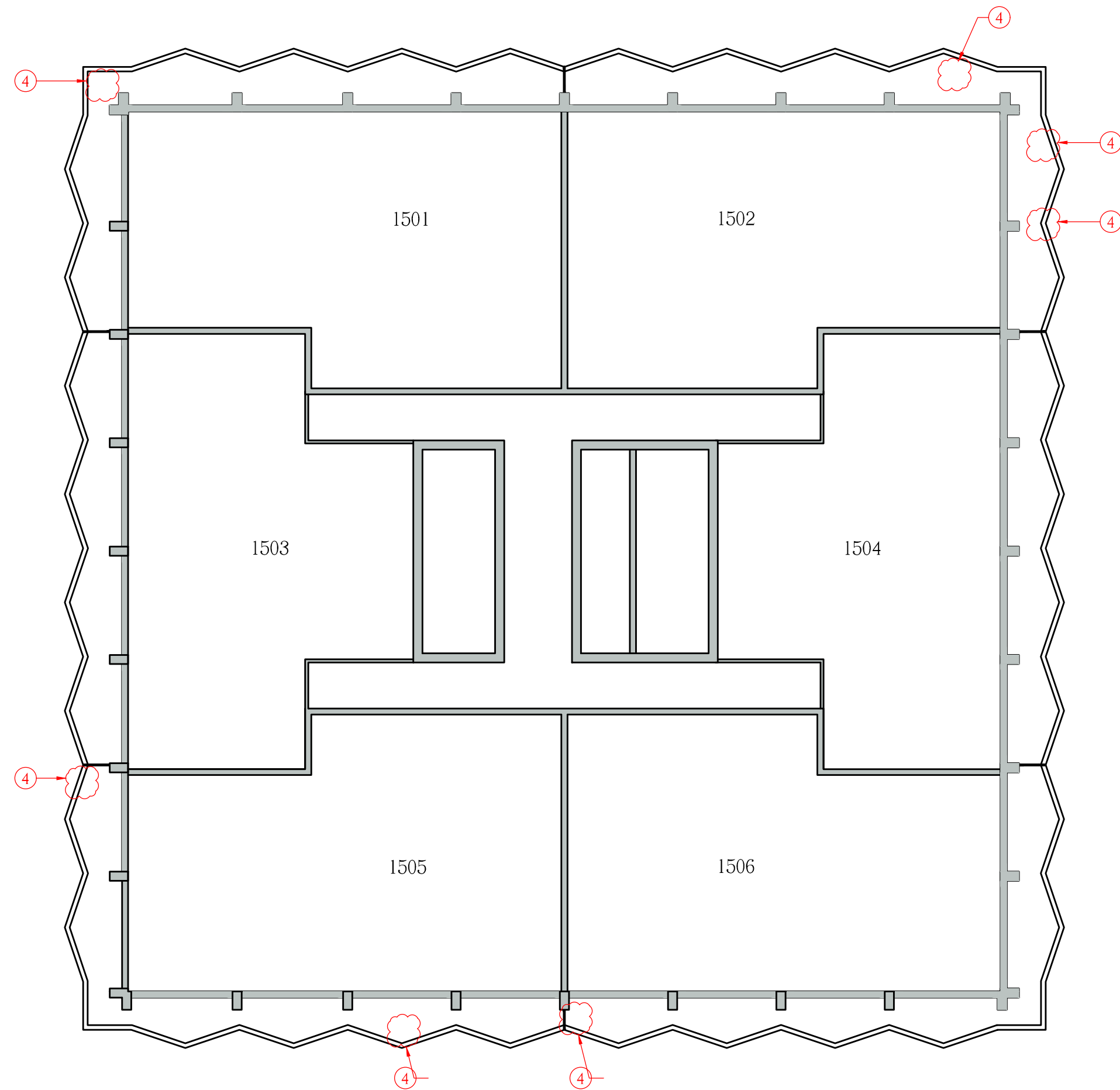
Scale: 1/8" = 1'-0"



7th Floor Repair Plan

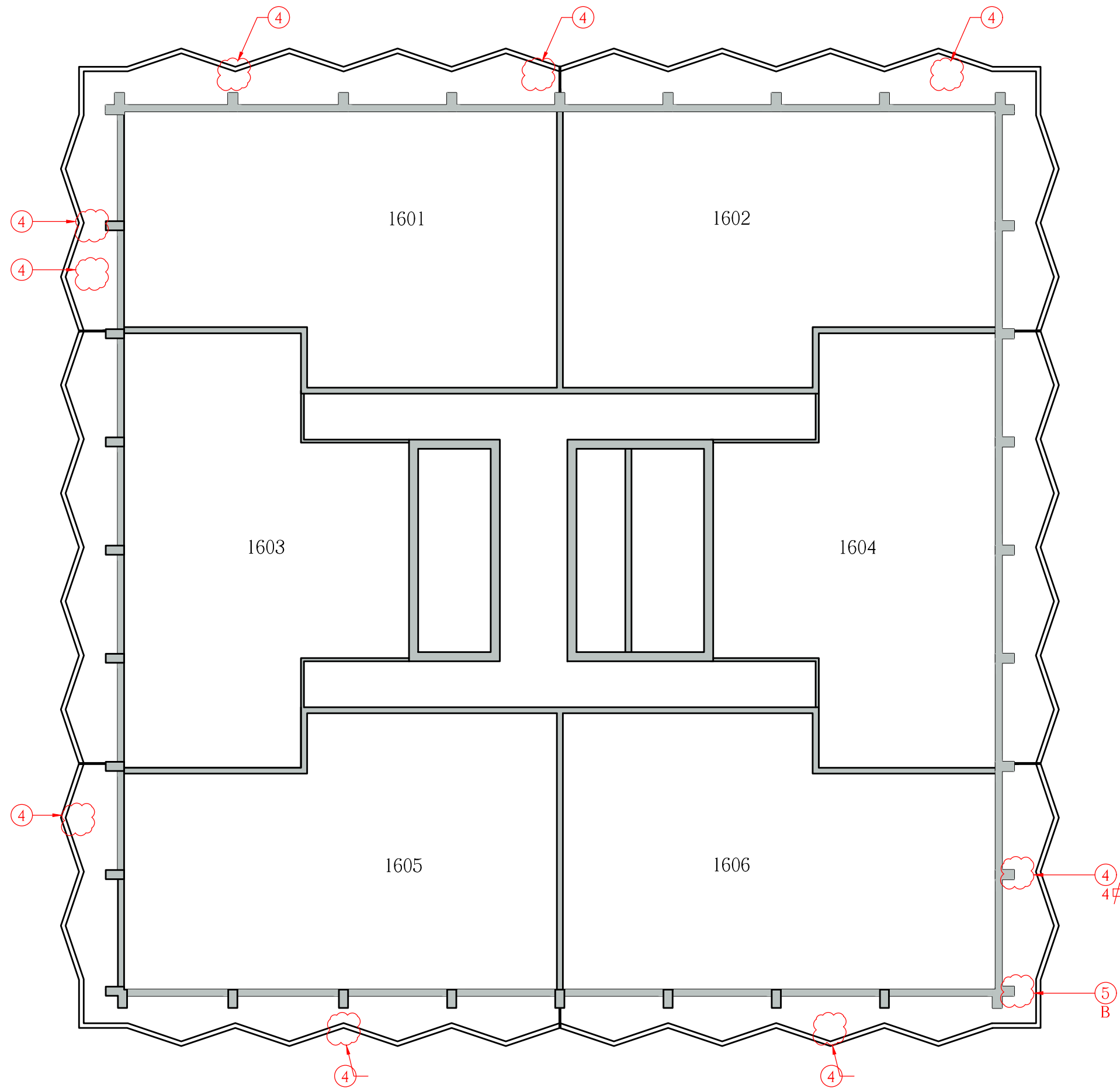
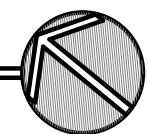
Scale: 1/8" = 1'-0"

NOTE: ALL SURFACE
SPALLS ARE SMALL
SPALLS U.N.O.



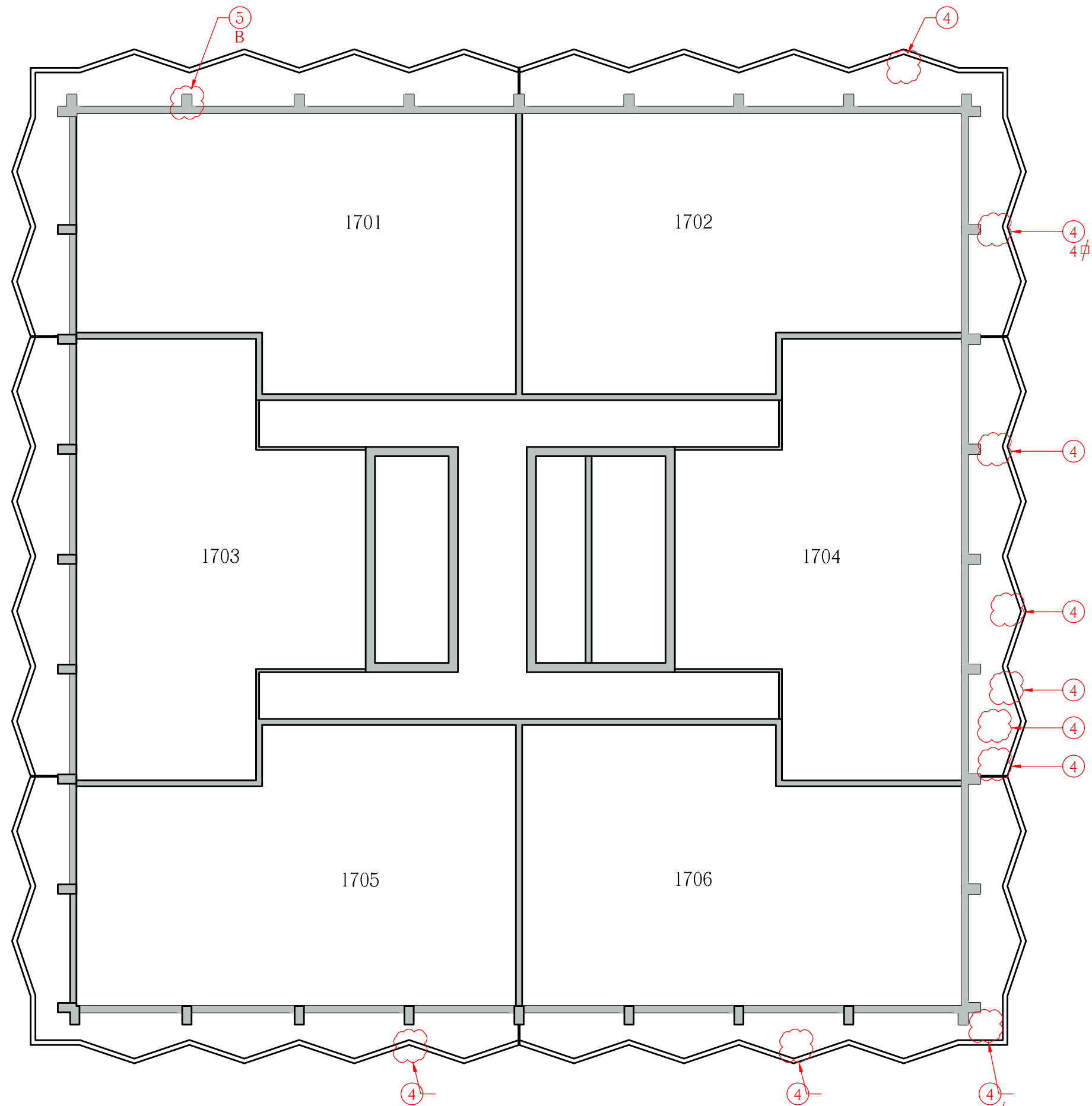
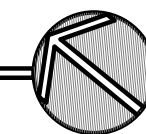
15th Floor Repair Plan

Scale: 1/8" = 1'-0"



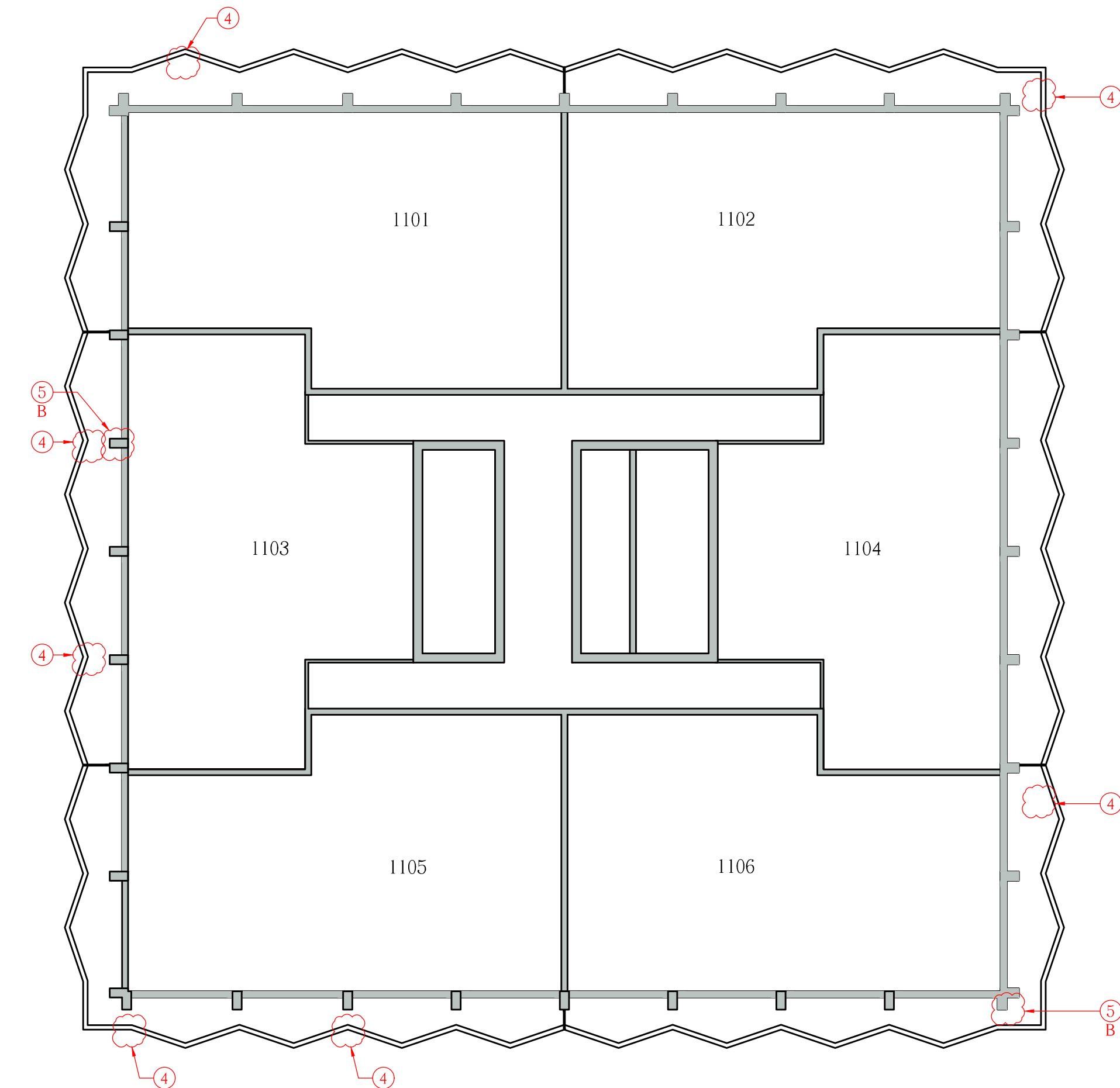
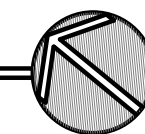
16th Floor Repair Plan

Scale: 1/8" = 1'-0"



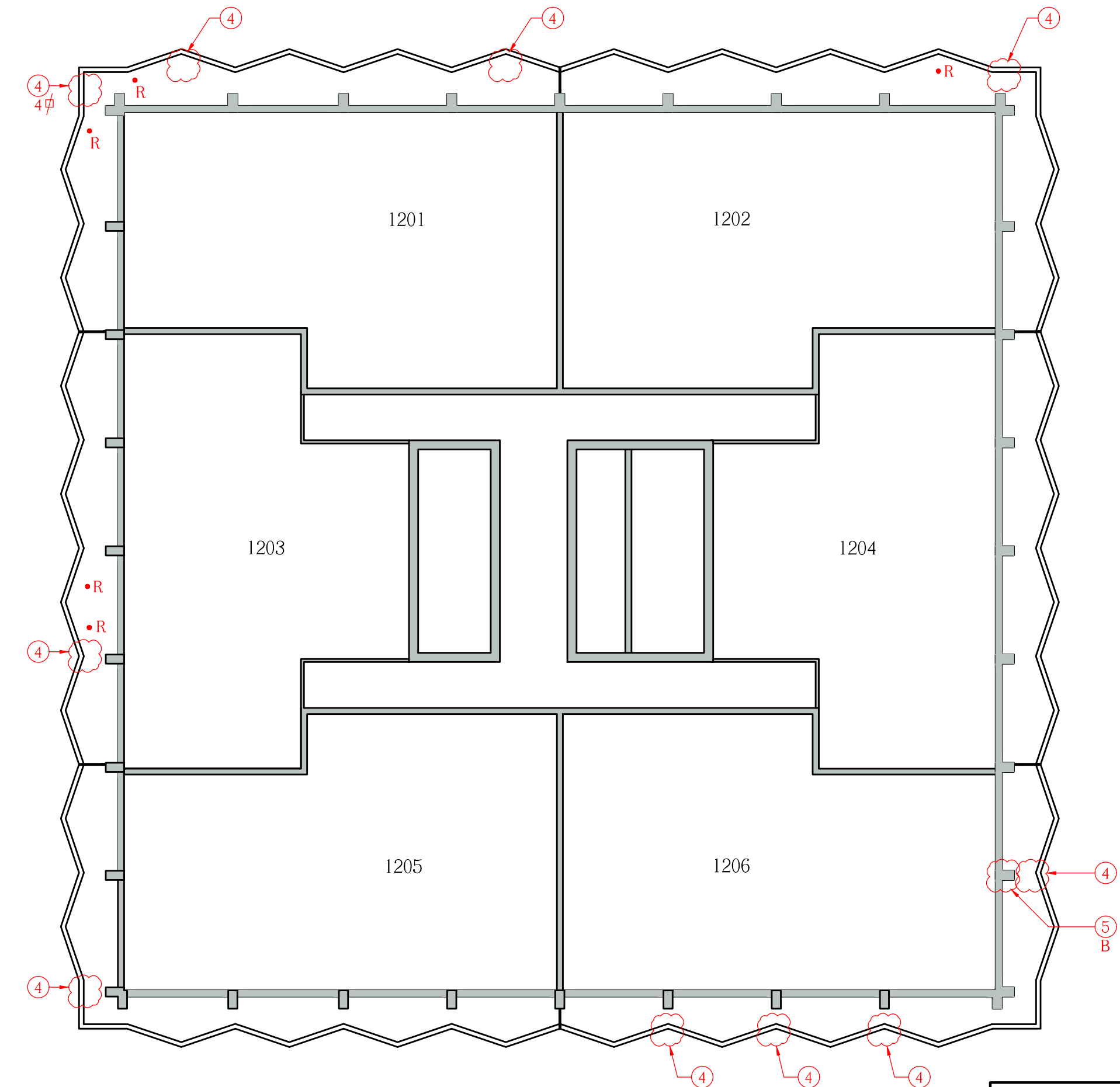
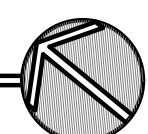
17th Floor Repair Plan

Scale: 1/8" = 1'-0"



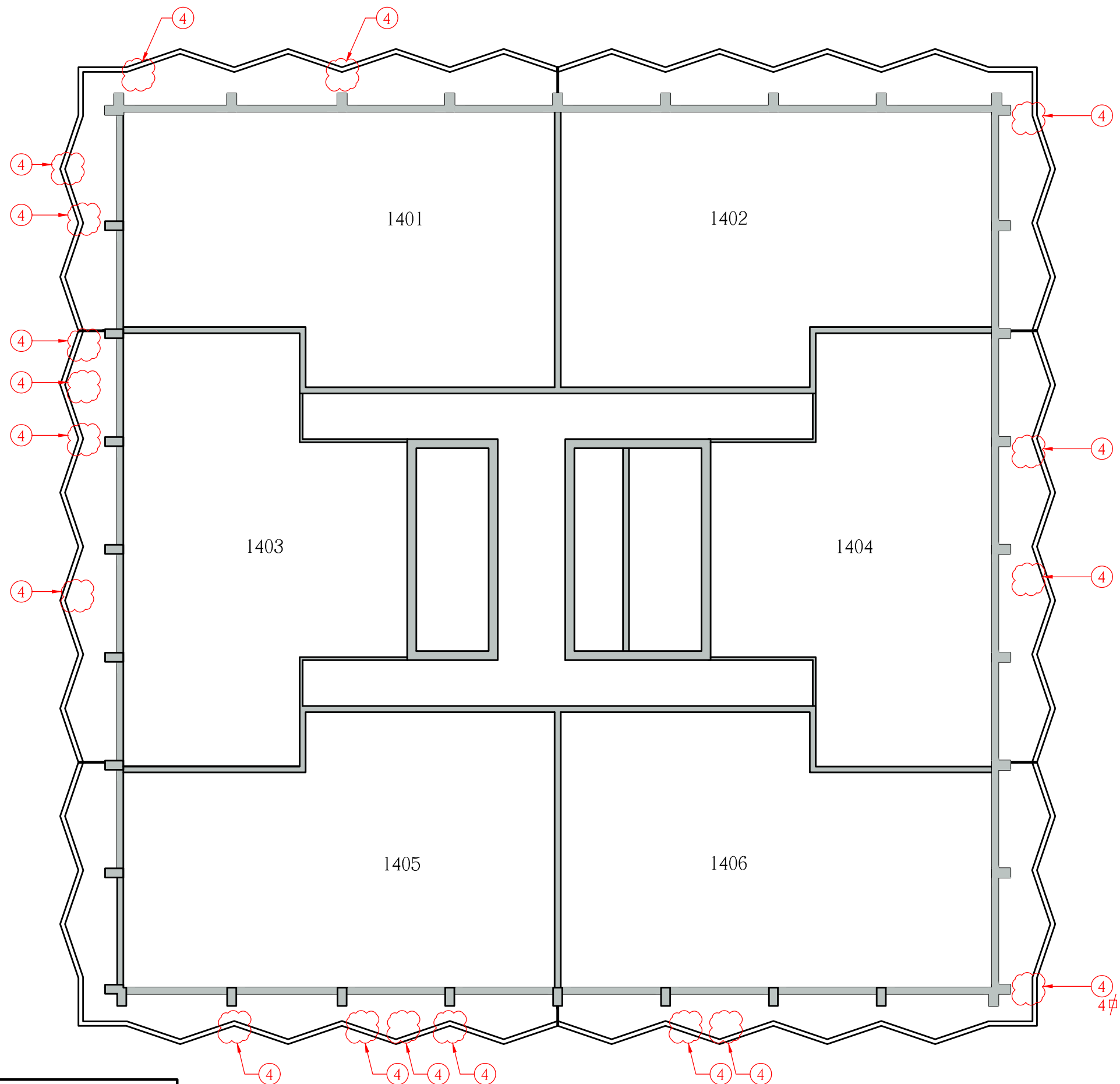
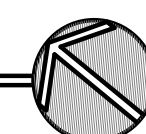
11th Floor Repair Plan

Scale: 1/8" = 1'-0"



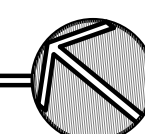
12th Floor Repair Plan

Scale: 1/8" = 1'-0"

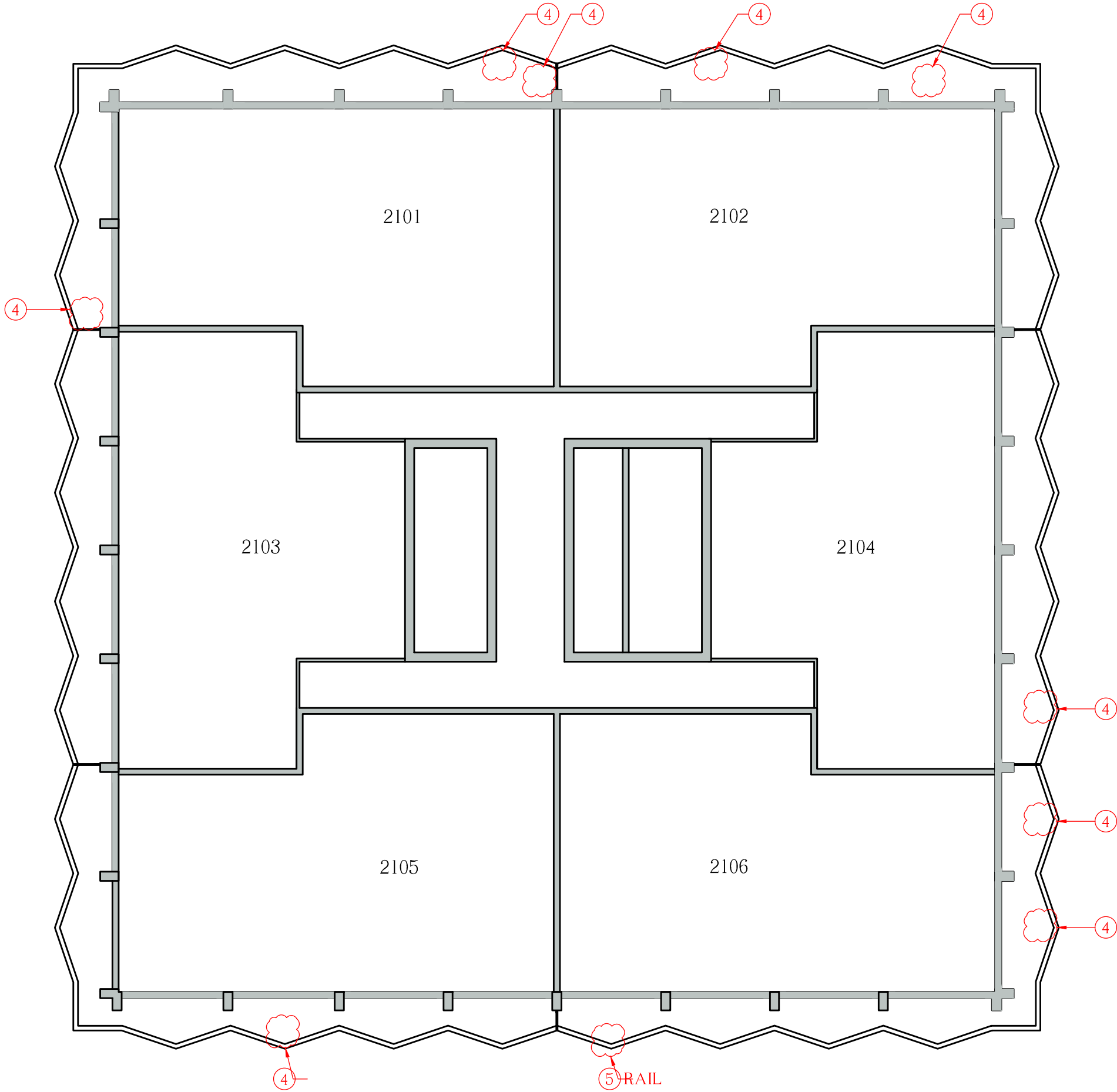


14th Floor Repair Plan

Scale: 1/8" = 1'-0"

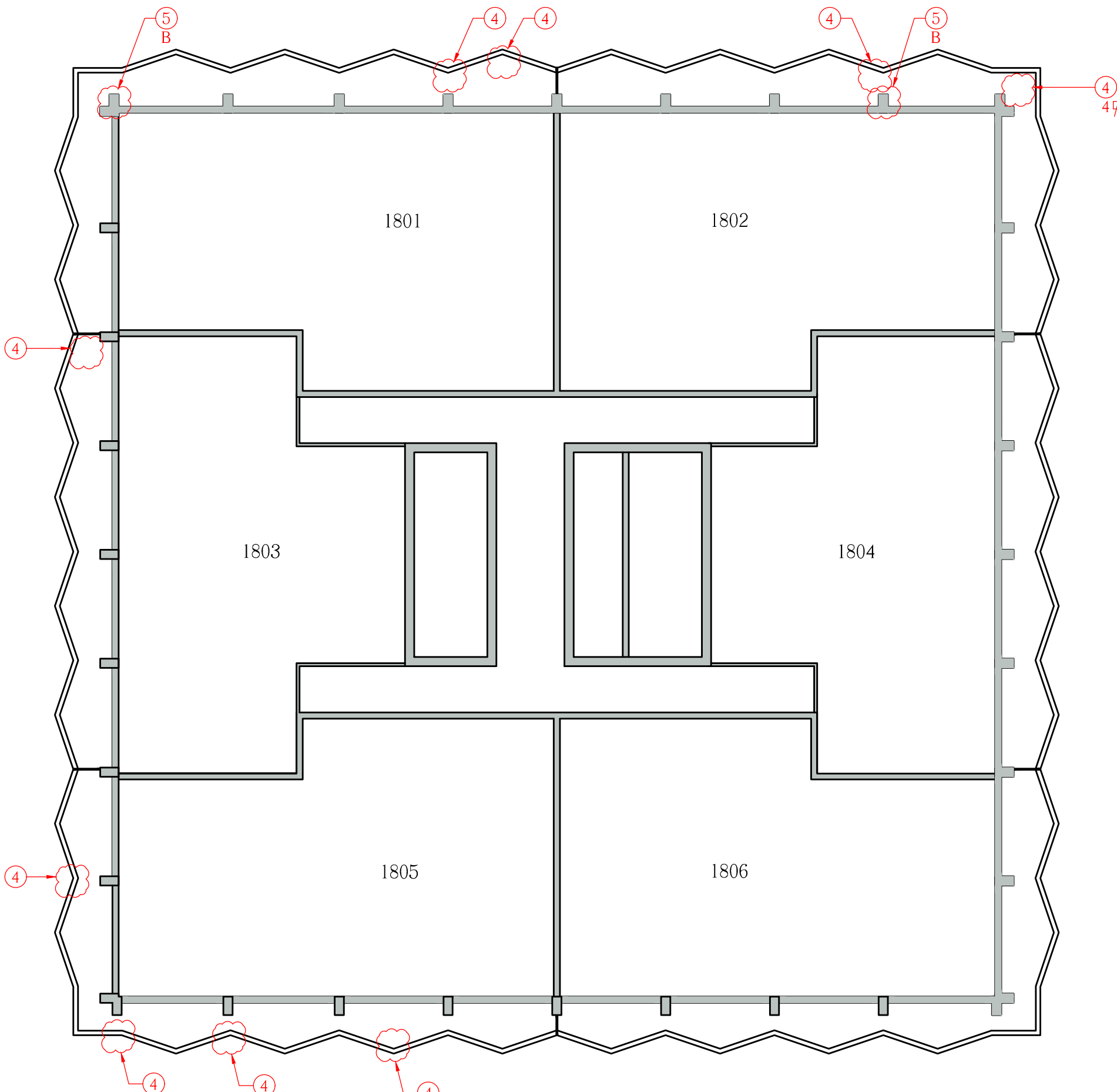


NOTE: ALL SURFACE
SPALLS ARE SMALL
SPALLS U.N.O.



21th Floor Repair Plan

Scale: 1/8" = 1'-0"



18th Floor Repair Plan

Scale: 1/8" = 1'-0"

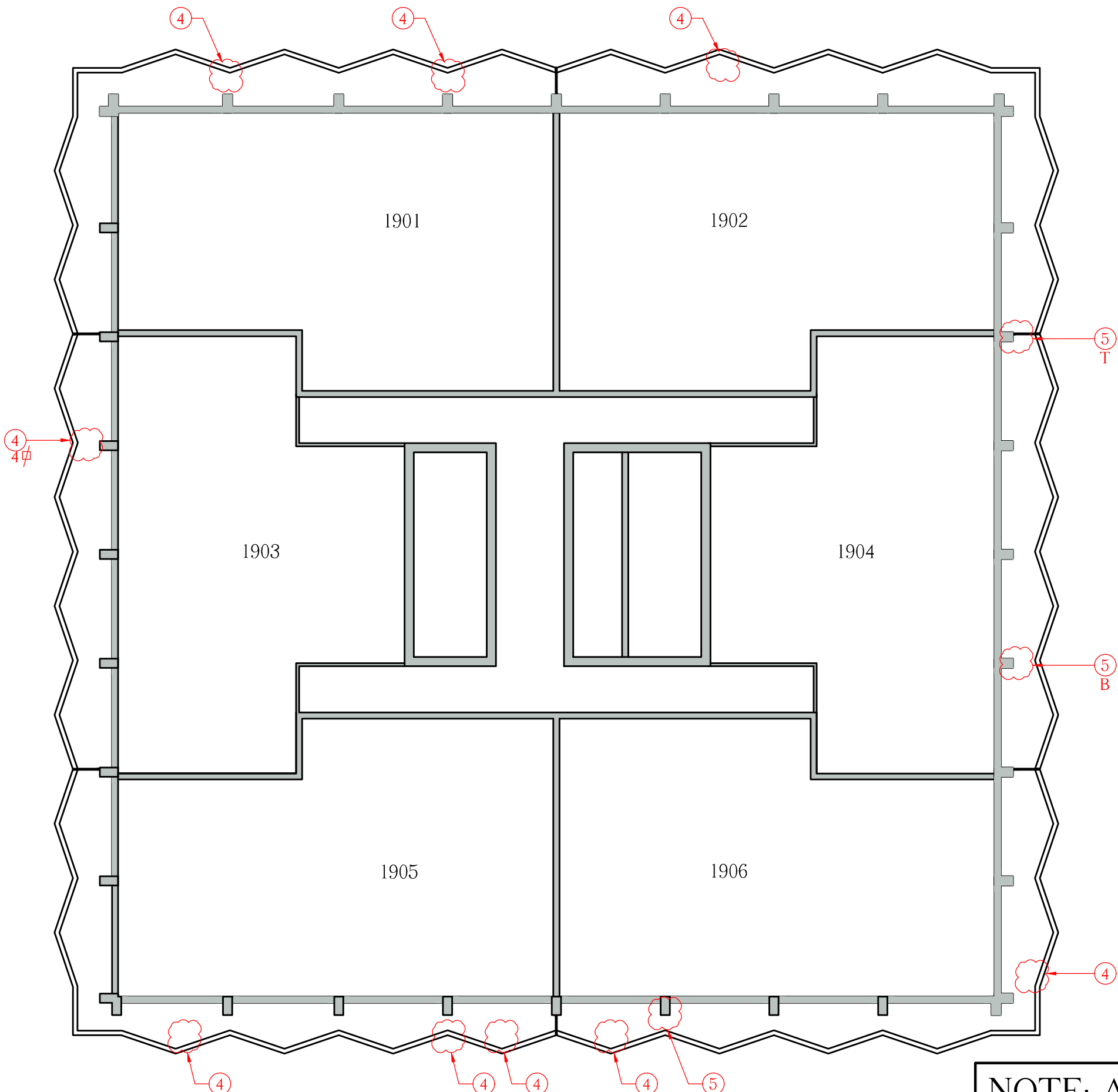


Parking Level Repairs



Penthouse Level Wall Cracks

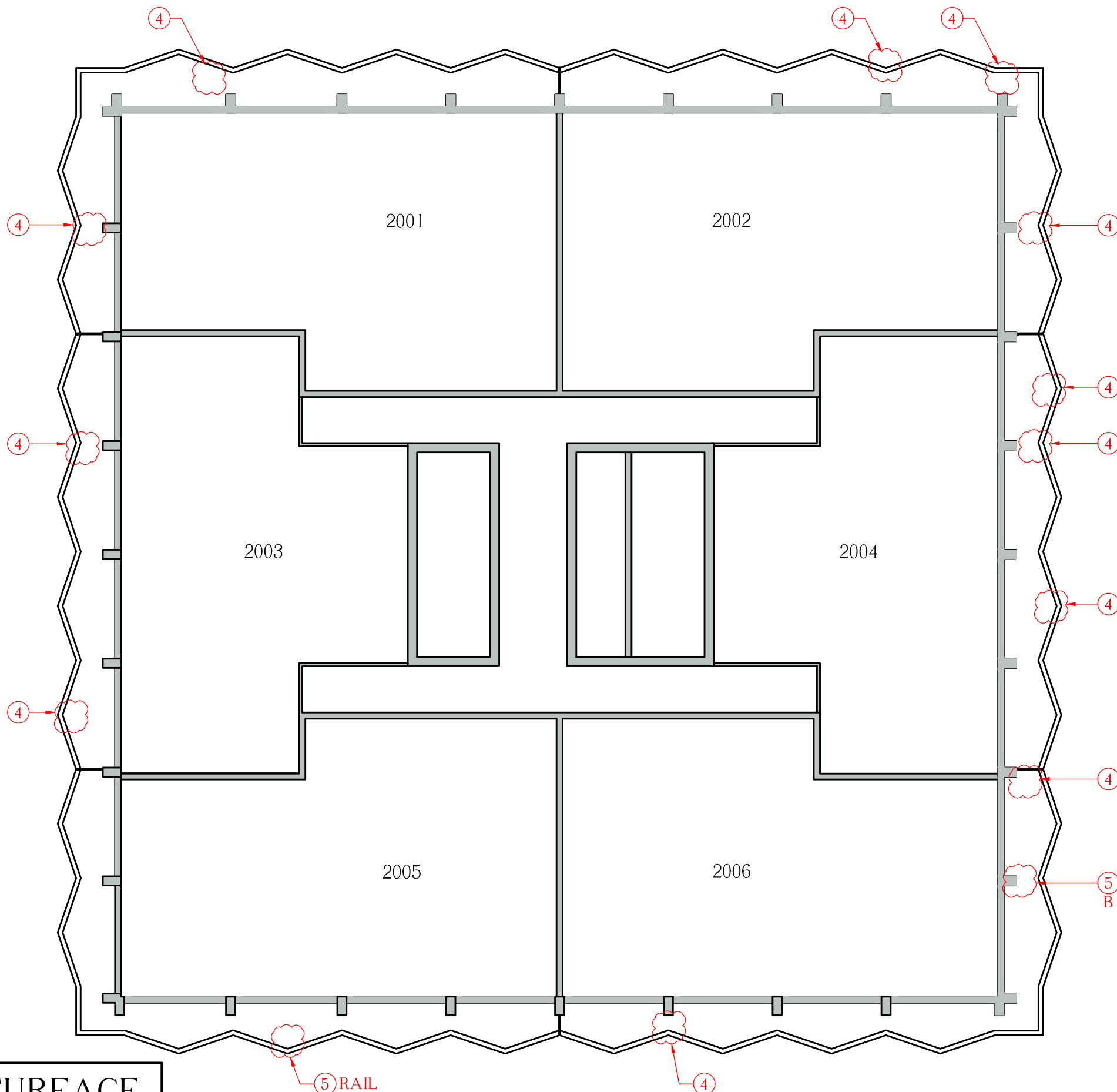
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5.	VERTICAL SURFACE / COLUMN REPAIR
6.	BEAM REPAIR
7.	BEAM REPAIR
8.	FULL DECK REPLACEMENT
9.	RAIL POST JOINT REPAIR
10.	CONCRETE CRACK REPAIR (COSMETIC)
R	RUST SPOT / EXPOSED REIN.



19th Floor Repair Plan

Scale: 1/8" = 1'-0"

NOTE: ALL SURFACE
SPALLS ARE SMALL
SPALLS U.N.O.



20th Floor Repair Plan

Scale: 1/8" = 1'-0"